

All that certain piece, parcel or tract of land with the buildings and improvements thereon situate, lying and being in the City of Charleston, County of Charleston, State of South Carolina at the southwest corner of Legare and Queen Streets, being shown and delineated on a plat prepared for Crafts House by Carl W. Bostick, R.L.S. #4766, dated November 12, 1985, revised June 9, 1986, recorded in the R.M.C. for Charleston County on June 26, 1986, at Plat Book BJ, page 81, and having the following courses, distances, metes and bounds as shown on said plat:

Beginning at an old iron pin on the southern edge of Queen Street at the common boundary of the property and property shown as 123 Queen Street, now or formerly of M. Bruce Burris (the point of beginning), proceed along the right-of-way of Queen Street N80°04'04"E for a distance of 99.62' to an iron; thence turning and running along the right-of-way of Queen Street toward the intersection of Legare Street in a curved line to the right, the chord of which is N83°21'10"E for a distance of 6.94' to a point; thence continuing along the right-of-way of Queen Street in a curved line to the right, the chord of which is S79°57'13"E for a distance of 13.92' to a point; thence continuing along the right-of-way in a curved line to the right, the chord of which is S59°30'16"E for a distance of 13.94' to a point on the right-of-way of Queen Street as it corners with Legare Street; thence continuing along the right-of-way in a curved line to the right, the chord of which is S38°33'35"E for a distance of 18.96' to a point; thence continuing along the right-of-way in a curved line to the right, the chord of which is S16°53'29'E for a distance of 15.75' to a point on the right-of-way of Legare Street; thence turning and running S09°31'03"E along the western right-of-way of Legare Street for a distance of 212.43' to a set iron pin; thence turning and running S80°20'15"W along the boundary of property shown as 65 Legare Street for a distance of 103.52' to an old iron pin; thence turning and running S80°20'15"W along the boundary of property shown as 63 Legare Street (now or formerly of Mary M. Storer) for a distance of 80' to an old iron pin; thence turning and running S80°33'35"W along Property shown as 138 Broad Street (now or formerly of One Thirty-eight Partners) for a distance of 47.84' to a point; thence turning and running N08°21'29"W for a distance of 12.79' to an old iron pin; thence turning and running N71°48'55"E for a distance of 2.19' to a set iron pin; thence turning and running N10°12'43"W along properties shown as 60 Logan Street (now or formerly of Gordon M. Walker) and 62 Logan Street (now or formerly of Martin A. Hutton) for a distance of 54.55' to an old iron pin; thence turning and running N09°34'49"W along property shown as 64 Logan Street (now or formerly of John A. Neisler) for a distance of 22.92' to an iron; thence turning and running N10°35'30"W for 12.70' along property shown as 64 Logan Street (now or formerly of John A. Neisler) to an old iron pin; thence turning and running N08°13'55"W for a distance of 20.11' along Property shown as 64 Logan and 66 Logan Street to a set iron pin; thence turning and running N79°46'15"E along the boundary of property shown as 125 Queen Street (now or formerly of Christopher M. Fredericks and Barbara S. Fredericks) for a distance of 59.59' to an iron; thence turning and running N79°25'48"E along the boundary of property shown as 123 Queen Street (now or formerly of M. Bruce Burris) for a distance of 29.38' to an old iron pin; thence turning and running N09°01'59"W along the boundary of 123 Queen Street (now or formerly of M. Bruce Burris) for a distance of 129.34' to an iron; the point of beginning; be all courses, distances and measurements a little more or less.

This is the identical Property conveyed to Crafts House Partners in part by deed of Charles Towne Montessori School of Charleston, South Carolina, dated November 6, 1984, and recorded in the R.M.C. for Charleston County at Deed Book F-141, page 177, on November 6, 1984; and in remaining part by deed of Christopher M. Fredericks and Barbara S. Fredericks dated June 12, 1986, recorded June 12, 1986, in the R.M.C. for Charleston County in Deed Book T-154, page 842.

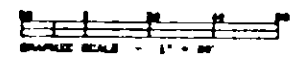
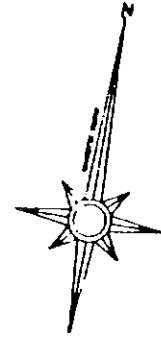
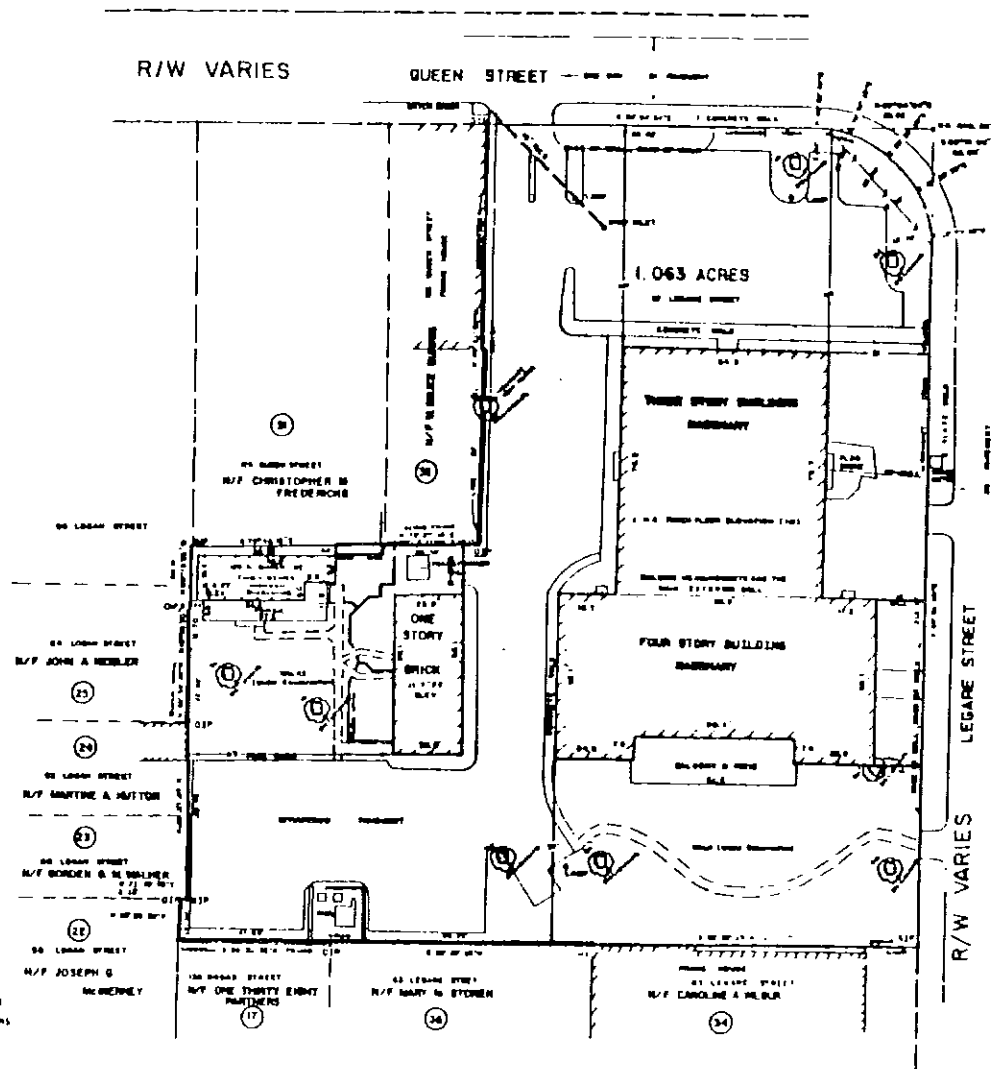
This conveyance is made subject to conditions, easements and restrictions affecting the said property.

CRAFT?

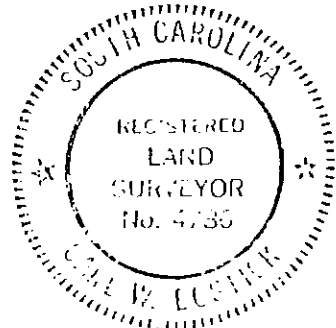
EXHIBIT "A"

1 of 2

BK S 155 PG 542



- NOTES
- 1) REFERENCE PLAN OF SAME BY MR. STEPHEN S. STEVENS & WELBORN, INC. PROJECT NO. 2418 DATED 8/16/85
 - 2) REFERENCE OF SURVEY BY MR. STEPHEN S. STEVENS & WELBORN, INC. OWNED BY MONTESSORI SCHOOL, INC. DATED 11/6/84
 - 3) REFERENCE PLAN OF 2ND SCHOOL BOUNDARY DATED BY MR. STEPHEN S. STEVENS & WELBORN, INC. 3/24/81
 - 4) REFERENCE PLAN OF 1ST SCHOOL BOUNDARY BY CH. FREDERICKS & SONS FREDERICKS, INC. DATED 8/27/87
 - 5) LAND SURVEY DATED 1/23/87
 - 6) CHARLESTON COUNTY TAX MAP MULTIBOOK 457-12-33
 - 7) FLOOD ZONE N-14 FLOOD ELEV. - 18
 - 8) CONDUIT 4" DIA. 4" DEPT. PANEL 27C
 - 9) ELEVATIONS DETERMINED FROM US&GS MONUMENT 110A 12" 44.4 17 10.1 1.44 4552' ADJUSTED ELEV. 46.575 MSL LOCATED ON TOP 7" DIA. OF POLY OFFICE AT INTERSECTION OF BRIDGE & WESTING STREET



CRAFTS HOUSE Partners	
TRACT: 17-12-34 DATE: 11-12-84 PARTIAL MAP NO. 17-12-34	COUNTY: CHARLESTON CITY: CHARLESTON, S.C. PREPARED BY: CARL W. RUSTLER PHONE: 781-720-0000

MASTER PLAN

I. Property: The property which constitutes Crafts House Horizontal Property Regime is set forth in Exhibit "A" to this Master Deed.

II. Buildings: The main residential building has a four-story section and a three-story section. There are twenty-eight (28) apartment units in the building. Twenty-six units are flats (single floor) and two units are townhouse style (two floors). The carriage house is one and a half (1½) stories containing two (2) townhouse style apartments. The basic construction of the buildings is wood frame, partition wall and dry wall interiors, and masonry and stucco exterior, and interior load-bearing walls, with a term metallic sheathed roof on a wood frame substructure. The building elevations and floor plans are as shown and depicted on the scheduled sheets of this Exhibit. The buildings provide single metered central and common water supply. The apartments have separately metered heating and cooling systems and power supply with the exception of the energy required for cooling cycle condenser water, which is a commonly shared expense.

There is a single, detached residential building containing one (1) apartment unit. This building is of wood frame construction. The building elevations and floor plans are as shown and depicted on the scheduled sheets of this Exhibit.

III. Apartments: The thirty-one (31) apartments are numbered and generally described on the following schedule. A "TH" designation following the unit number designates a townhouse-style apartment. A CH designation following the unit number designates a carriage house unit. A PH designation following the unit number designates a penthouse flat type apartment. The location and dimensions of apartments within the building are shown and depicted on the Building Floor Plans and Apartment Floor Plans on the scheduled sheets of this Exhibit.

SCHEDULE BK S 15536544
GENERAL DESCRIPTION

UNIT	GENERAL DESCRIPTION	APPROXIMATE SQUARE FOOTAGE*
101	One bedroom, two bathroom, living/ dining room, kitchen	<u>677</u>
102	One bedroom, one bathroom, living/ dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>787</u>
103	One bedroom, one bathroom, living/dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>737</u>
104	Two bedrooms, one bathroom, living/dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>1,014</u> ^{±30}
105	Two bedroom, one bathroom, living/dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>956</u>
106	Two bedroom, two bathroom, living/dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>956</u>
107	Two bedroom, two bathroom, living/dining room, kitchen	<u>975</u>
108	Two bedroom, two bathroom, living/dining room, kitchen	<u>1,106</u>
201	Two bedroom, two bathroom, living/ dining room, kitchen	<u>1,075</u>
202	One bedroom, one bathroom, living/dining room, kitchen [an unenclosed balcony porch (patio) is a limited common element appurtenant to this apartment]	<u>853</u>
203	One bedroom, one bathroom, living/dining room, kitchen [an unenclosed balcony porch is a limited common element appurtenant to this apartment]	<u>755</u>
204	Two bedroom, two bathroom, living/ dining room, kitchen	<u>1,075</u>
205	Two bedroom, one bathroom, living/ dining room, kitchen	<u>956</u> ⁺³⁰
206	Two bedroom, two bathroom, living/ dining room, kitchen	<u>956</u>

NOTE: Square footages stated are approximate. They are calculated from the Renovation Plans for the existing buildings using where practical measurements from center-line of walls to centerline of walls. Therefore, these area square footages include parts of the common elements which are not within the apartment units.

207	Two bedroom, two bathroom, living/ dining room, kitchen	<u>975</u>
208	Two bedroom, two bathroom, living/ dining room, kitchen	<u>1,106</u>
301	One bedroom, one bathroom, living/ dining room, kitchen	<u>998</u>
302	Two bedroom, two bathroom, foyer, living/dining room, kitchen [an unenclosed balcony (patio) porch is a limited common element appurtenant to this apartment]	<u>1,631</u>

NOTE: There is no Unit No. 303

304	Two bedroom, two bathroom, living/ dining room, kitchen	<u>1,075</u>
305	Two bedroom, one bathroom, living/ dining room, kitchen	<u>956</u>
306	Two bedroom, two bathroom, living/ dining room, kitchen	<u>956</u>
307	Two bedroom, two bathroom, living/ dining room, kitchen	<u>975</u>
308	Two bedroom, two bathroom, living/ dining room, kitchen	<u>1,106</u>
401	One bedroom, one bathroom, living/ dining room, kitchen [This unit includes the easement stated in Article X, Section 4]	<u>943</u>

402TH	Two bedroom, two bathroom townhouse, living/dining room, kitchen [an unenclosed balcony (patio) porch a is limited common element appurtenant to this apartment]	<u>1,267</u>
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403TH	Two bedroom, two bathroom townhouse, living/dining room, kitchen [an unenclosed balcony porch is a limited common element appurtenant to this apartment]	<u>1,294</u>
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404	Two bedroom, two bathroom, living/ dining room, kitchen [This unit includes the easement stated in Article X, Section 4]	<u>1,102</u>
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405PH	Three bedroom, two bathroom, living/ dining room, kitchen, family room, foyer, [an unenclosed roof top balcony (patio) is a limited common element appurtenant to this apartment]	<u>1,481</u>
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CH1	One bedroom, 1½ bathroom, living/ dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>844</u>
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CH2	One bedroom, 1½ bathroom, living/ dining room, kitchen [an unenclosed patio is a limited common element appurtenant to this apartment]	<u>844</u>
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DR TH	Two bedroom, 1 bathroom, detached town- house, living room, dining room, kitchen. An attached covered porch is a limited common element appurtenant to this unit.	<u>1,056</u>
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The porches, balcony porches, patios or decks and attic storage spaces noted on the general description of apartments and as shown on the Floor Plans are designated limited common elements and are limited to the use of the apartment to which they are noted and shown as appurtenant. The ground floor unenclosed patios are delineated by their respective paved surface area and they may not be enclosed nor enlarged.

Parking for apartments: There are forty-seven (47) numbered parking spaces shown on the site plan. Thirty are standard size and 17 are compact size.

Each unit shall have one assigned parking space. Units 108, 208, 302, 308, 402, 403, 404, 405PH and DR TH shall have assigned one (1) additional parking space each.

These parking spaces shall be limited to the use of the apartment unit to which it is assigned. The remaining open parking spaces shall not be assigned.

Assignments shall be made by choice, if available, in order of priority in time of contract to purchase, which assignment shall be noted on the Master Plot Plan on record in the office of the grantor at the time of the initial conveyance of each unit. Grantor may assign parking spaces for unsold units at any time. Once spaces are assigned, they may not be changed except upon consent of the owner of the apartment to which the space has been assigned.

IV.

SCHEDULE OF BASIC VALUES

APARTMENT NUMBER	UNIT TYPE ***	UNIT AREA IN SQUARE FEET ***	BASIC VALUES* (Fixed for sole purposes of Horizontal Property Regime Act)	% UNDIVIDED** INTEREST IN COMMON ELEMENTS
101			85,000	1.976
102			110,000	2.558
103			105,000	2.441
104			126,000	2.930
105			118,000	2.744
106			124,000	2.883
107			129,000	2.999
108			131,000	3.046
201			137,000	3.185
202			130,000	3.022
203			110,000	2.558
204			137,000	3.185
205			123,000	2.860
206			129,000	2.999
207			134,000	3.115
208			136,000	3.162
301			136,000	3.162
302			240,000	5.580
304			147,000	3.418
305			134,000	3.115
306			139,000	3.232
307			144,000	3.348
308			146,000	3.395
401			141,000	3.278
402			195,000	4.534
403			205,000	4.766
404			152,000	3.534
405PH			210,000	4.883
CH1			99,000	2.302
CH2			99,000	2.302
DR TH			150,000	3.488
			<u>4,301,000</u>	<u>100.00</u>

* Basic Values have been determined and fixed for the purposes of the Act upon consideration of the approximate square footages of the respective apartments, as well as the floor plans and locations of the respective apartments within the building. These values control percentage ownership and voting rights without regard for the actual sales price or any circumstantial value which may be placed upon any apartment.

** Percentage interests expressed above are the result of dividing unit basic values by the total basic value and rounding to the nearest one hundred thousandth (1/100,000) and expressed as a percentage.

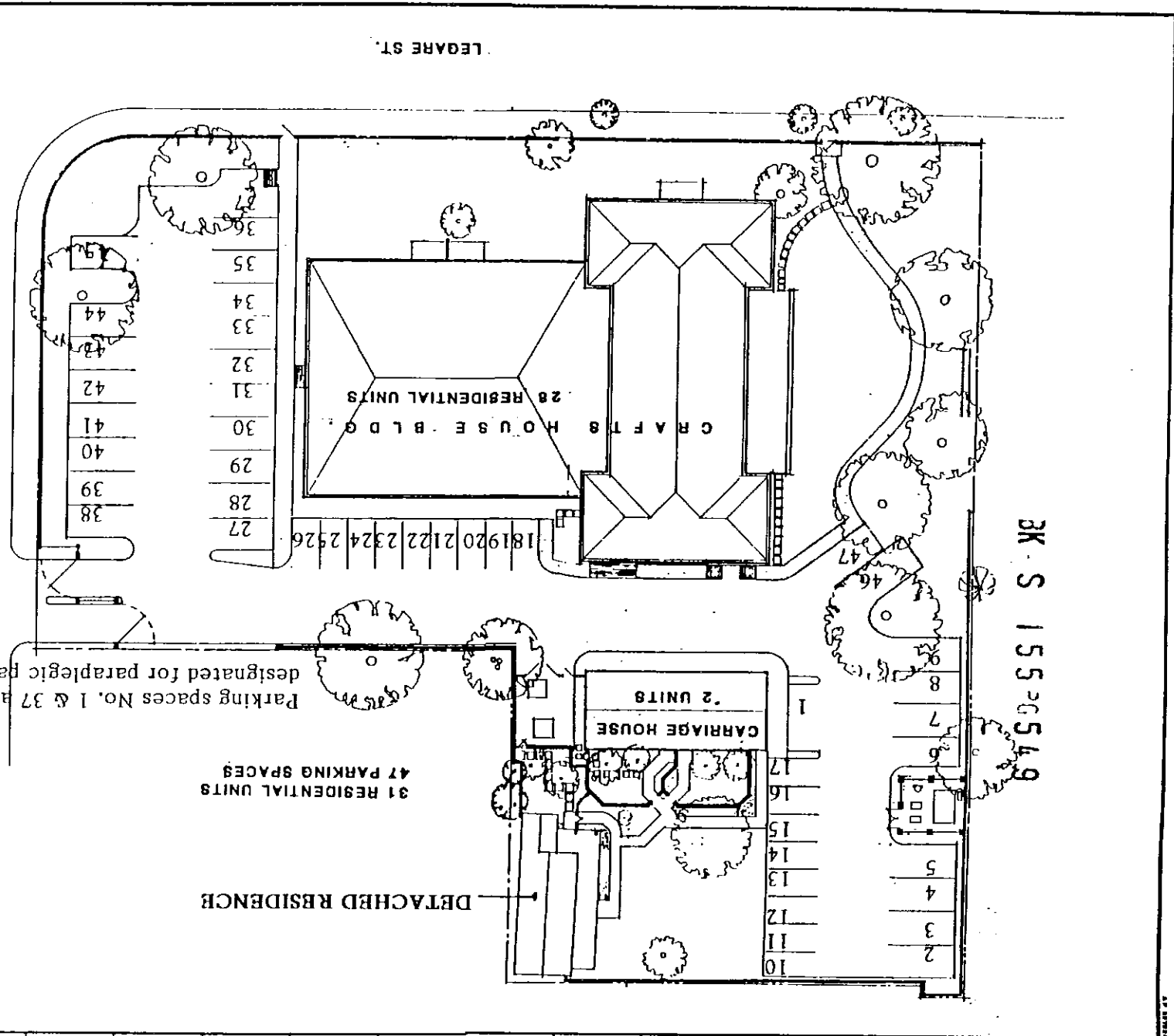
*** For unit type and approximate square footage see Apartments, Exhibit "B", section II. and Unit Floor Plans appended as scheduled sheets to this Exhibit.

DRAFT3

EXHIBIT "P"
Sheet 5 of 51



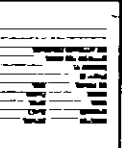



V. Plot Plan, Building Elevations, Floor Plans
(Sheets 7 through 51 next following)

Sheet: <u>7:</u>	Plot Plan		
Sheet: <u>8:</u>	First Floor Plan	-Main Residential Bldg	Unit 101
Sheet: <u>9:</u>	Second Floor Plan	-Main Residential Bldg	Unit 102
Sheet: <u>10:</u>	Third Floor Plan	-Main Residential Bldg	Unit 103
Sheet: <u>11:</u>	Fourth Floor Plan	-Main Residential Bldg	Unit 104
Sheet: <u>12:</u>	Fourth Mezzanine Plan	-Main Residential Bldg	Unit 105
Sheet: <u>13:</u>	West Elevation	-Main Residential Bldg	Unit 106
Sheet: <u>14:</u>	South Elevation	-Main Residential Bldg	Unit 107
Sheet: <u>15:</u>	Legare Street East Elevation-	" "	Unit 108
Sheet: <u>16:</u>	Queen Street North Elevation-	" "	Unit 109
Sheet: <u>17:</u>	Carriage House East Elevation		Unit 110
Sheet: <u>18:</u>	Carriage House West Elevation		Unit 111
Sheet: <u>19:</u>	Carriage House North and South Elevation		Unit 112
Sheet: <u>20:</u>	Floor Plan		Unit 113
Sheet: <u>21:</u>	Floor Plan		Unit 114
Sheet: <u>22:</u>	Floor Plan		Unit 115
Sheet: <u>23:</u>	Floor Plan		Unit 116
Sheet: <u>24:</u>	Floor Plan		Unit 117
Sheet: <u>25:</u>	Floor Plan		Unit 118
Sheet: <u>26:</u>	Floor Plan		Unit 119
Sheet: <u>27:</u>	Floor Plan		Unit 120
Sheet: <u>28:</u>	Floor Plan		Unit 121
Sheet: <u>29:</u>	Floor Plan		Unit 122
Sheet: <u>30:</u>	Floor Plan		Unit 123
Sheet: <u>31:</u>	Floor Plan		Unit 124
Sheet: <u>32:</u>	Floor Plan		Unit 125
Sheet: <u>33:</u>	Floor Plan		Unit 126
Sheet: <u>34:</u>	Floor Plan		Unit 127
Sheet: <u>35:</u>	Floor Plan		Unit 128
Sheet: <u>36:</u>	Floor Plan		Unit 129
Sheet: <u>37:</u>	Floor Plan		Unit 130
Sheet: <u>38:</u>	Floor Plan		Unit 131
Sheet: <u>39:</u>	Floor Plan		Unit 132
Sheet: <u>40:</u>	Floor Plan		Unit 133
Sheet: <u>41:</u>	Floor Plan		Unit 134
Sheet: <u>42:</u>	Floor Plan		Unit 135
Sheet: <u>43:</u>	Floor Plan		Unit 136
Sheet: <u>44:</u>	Floor Plan		Unit 137
Sheet: <u>45:</u>	Floor Plan	Unit 402 upper & lower	Unit 401
Sheet: <u>46:</u>	Floor Plan	Unit 403 upper & lower	Unit 404
Sheet: <u>47:</u>	Floor Plan		Unit 405PH
Sheet: <u>48:</u>	Floor Plan	CH1 upper & lower	
Sheet: <u>49:</u>	Floor Plan	CH2 upper & lower	
Sheet: <u>50:</u>	Elevations	Residence Unit DR TH	
Sheet: <u>51:</u>	Floor Plan	Unit DR TH upper & lower	

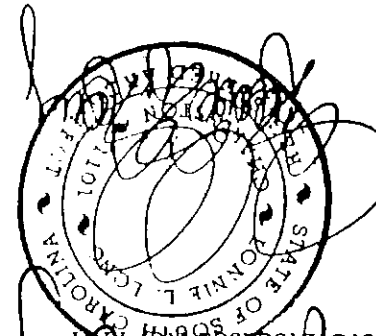


3K S 155-0549

CRAFTS SCHOOL RESIDENTIAL CONDOMINIUM CONVERSION


STEVENS & WILKINSON, INC.



 CRAFTS HOUSE
 Certified by: 
SITE PLAN


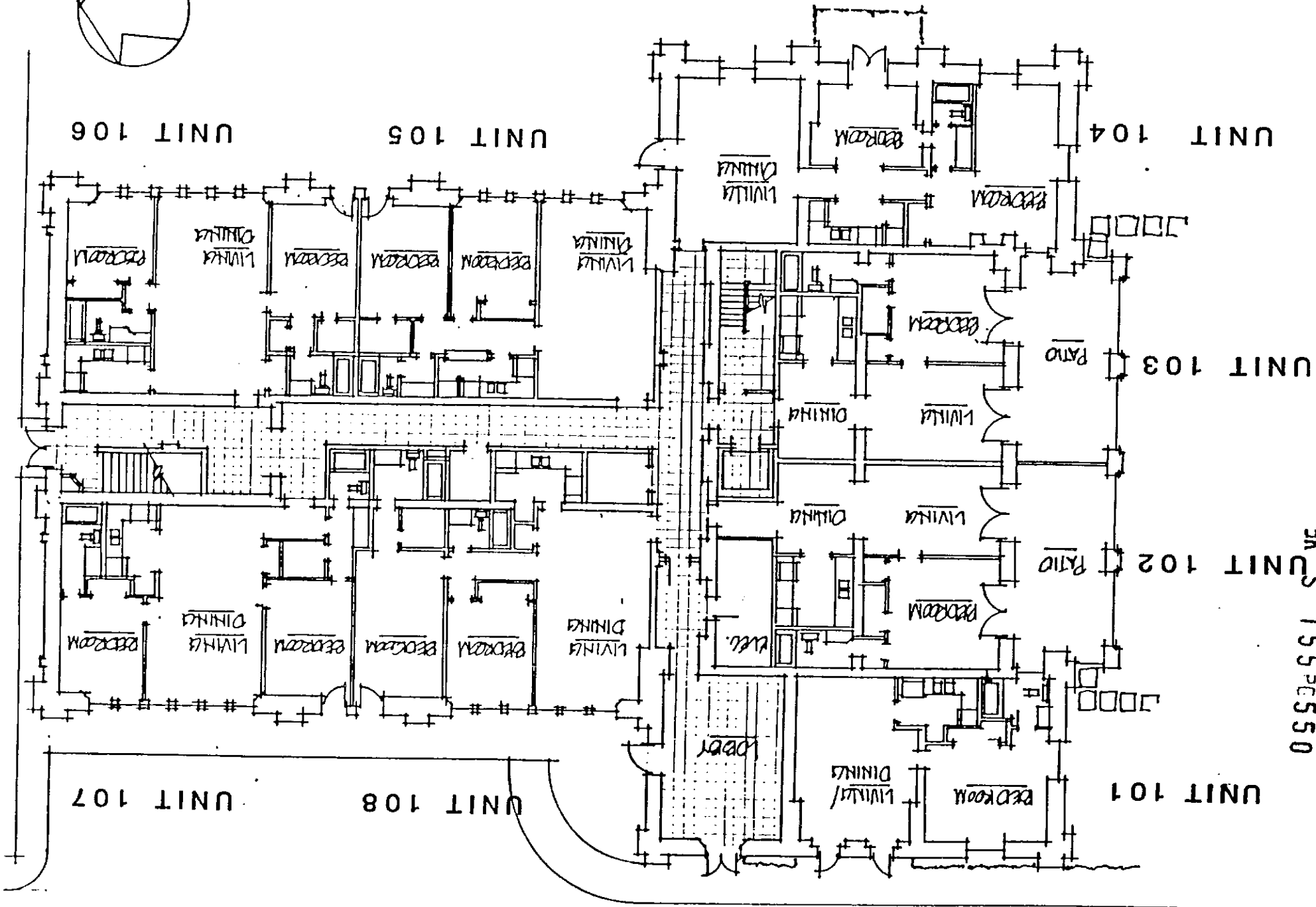
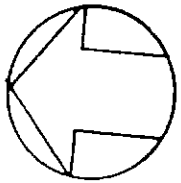
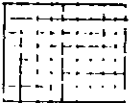
Note: Tree symbols indicate approximate location of existing trees.
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1ST FLOOR PLAN

SCALE: 1/16" = 1'-0"

Hatching Indicates
Common Areas



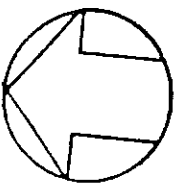
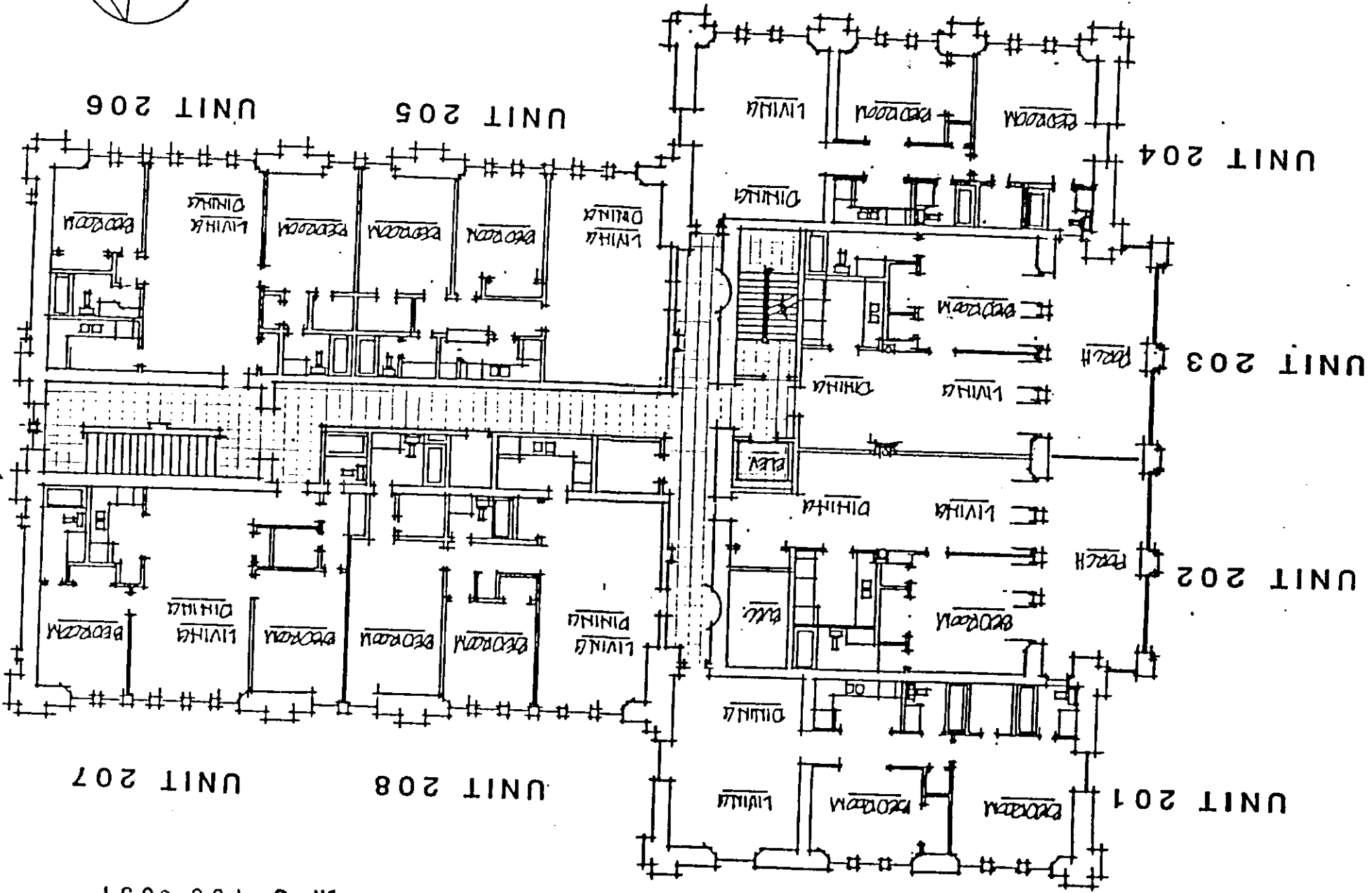
R.K. S. 15520550

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S.C. Licensed Architect No. 1101



2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"



EX S 155 0551

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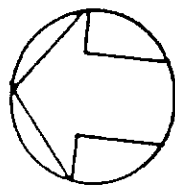
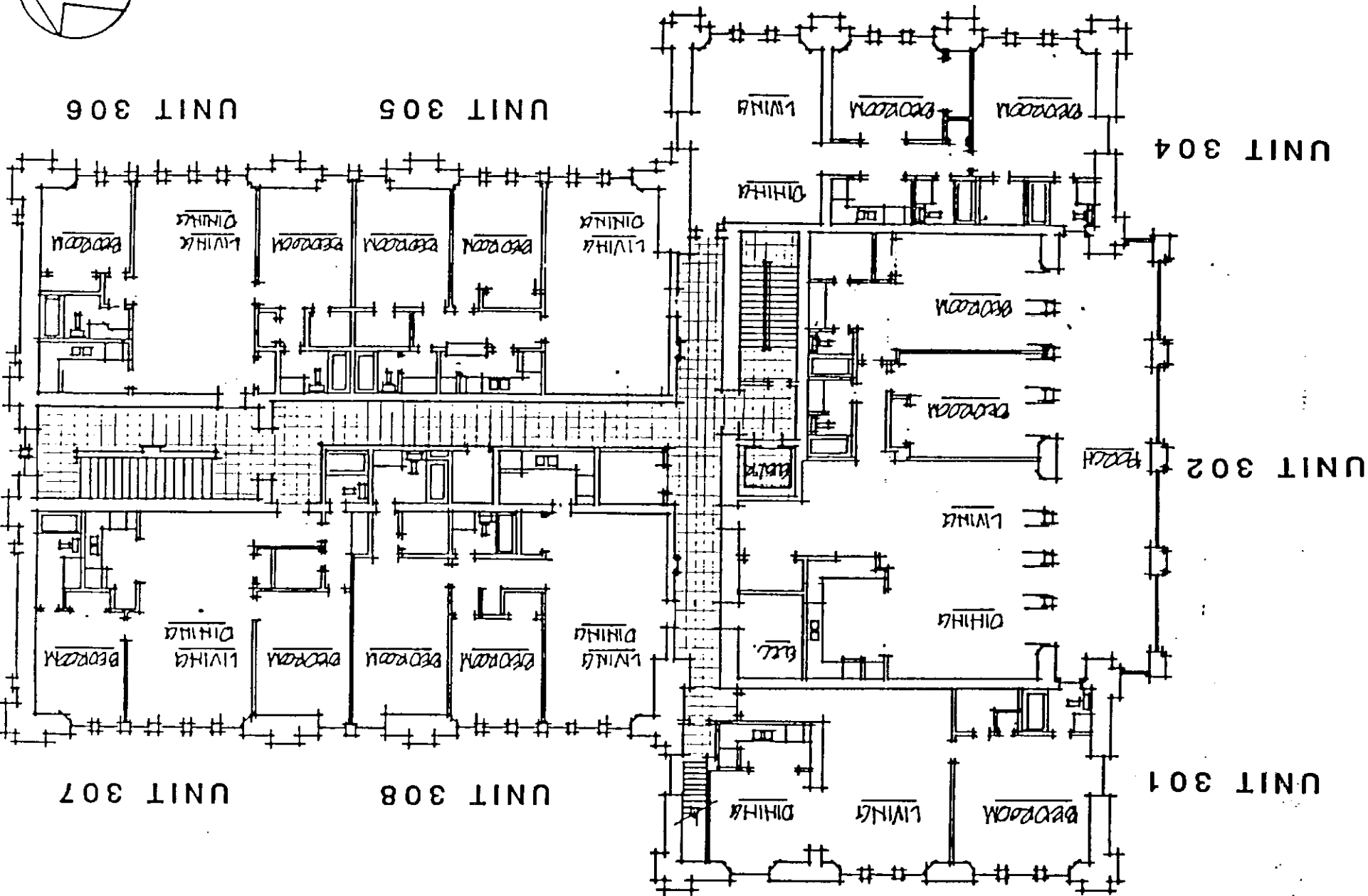
CERTIFIED BY: [Signature] (Seal)
S.C. Licensed Architect No. 1101



3RD FLOOR PLAN

SCALE: 1/16" = 1'-0"

Hatching Indicates
Common Area



UNIT 306

UNIT 305

UNIT 304

UNIT 302

UNIT 301

UNIT 307

UNIT 308

AK S 155 P 552

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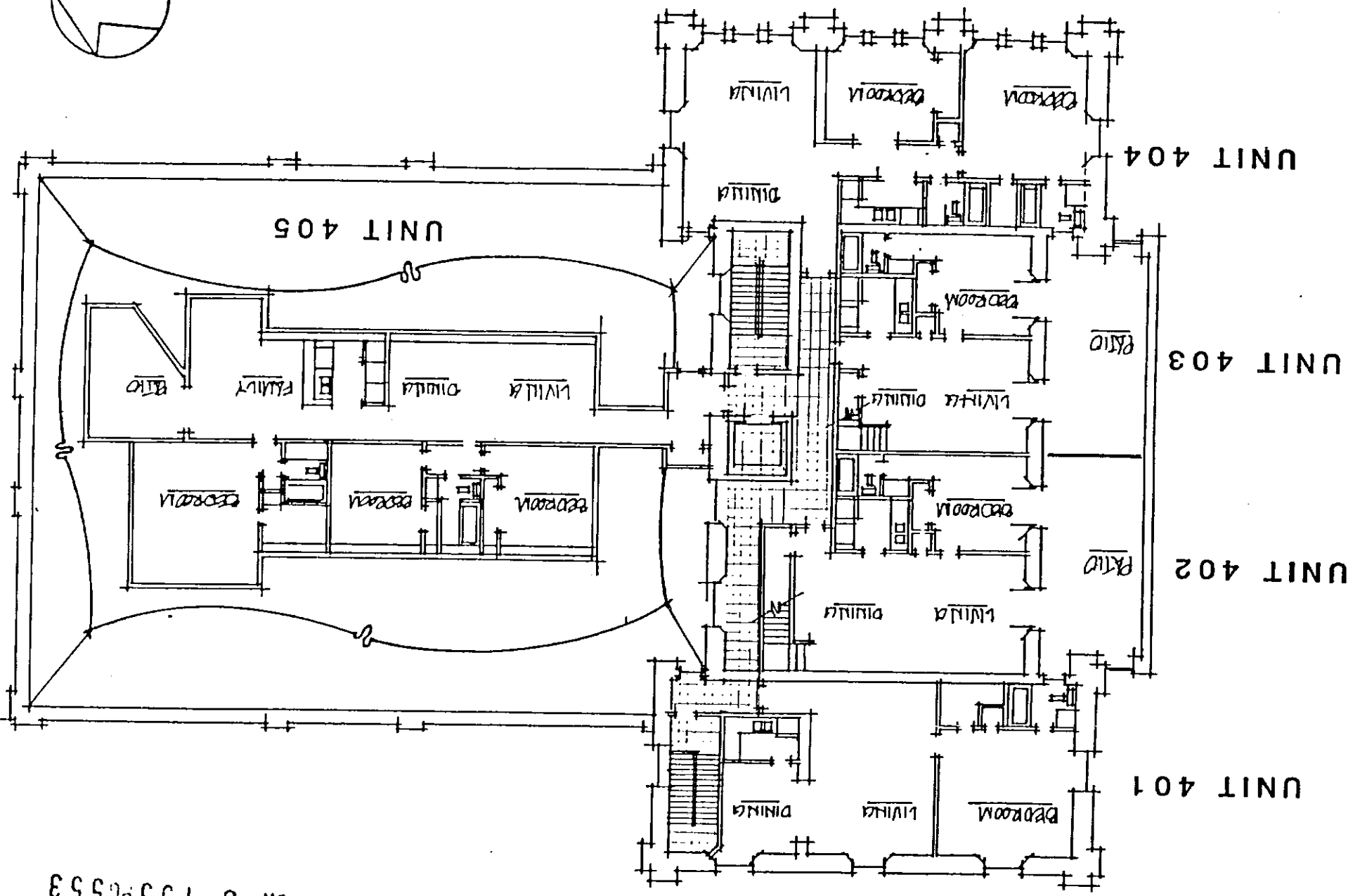
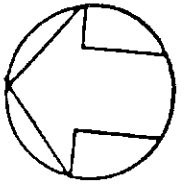
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S.C. Licensed Architect No. 1101



EXHIBIT "B"
Sheet 1 of 5

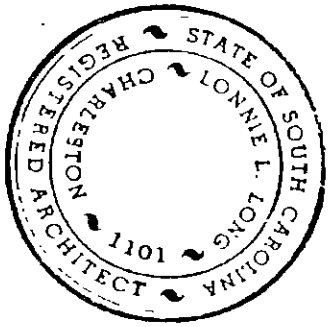
4TH FLOOR PLAN
 SCALE: 1/16"=1'-0"

Hatching Indicates
 Common Areas



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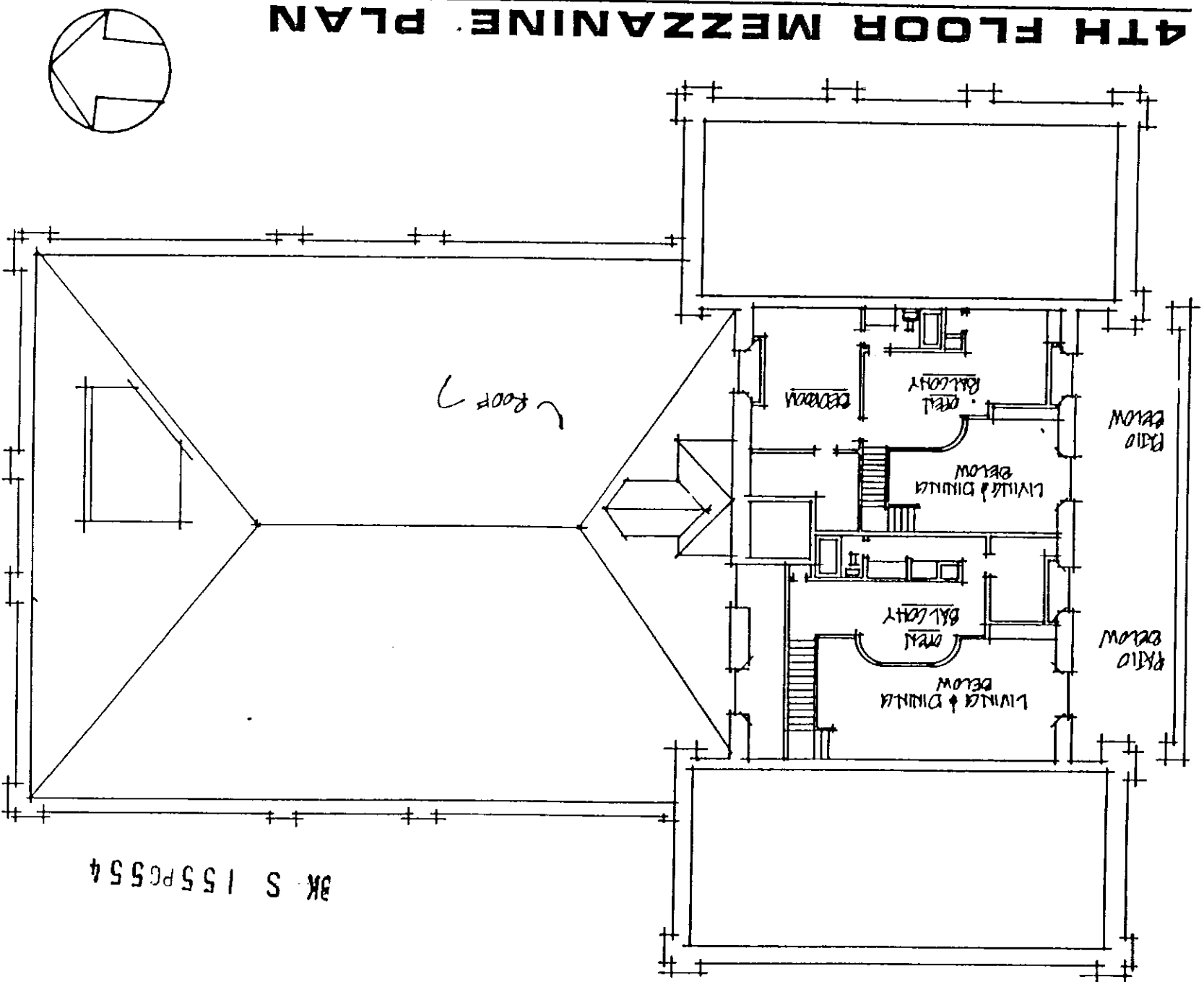
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 S.C. Licensed Architect No. 1101



OK S 1550553

SCALE: 1/16" = 1'-0"

4TH FLOOR MEZZANINE PLAN



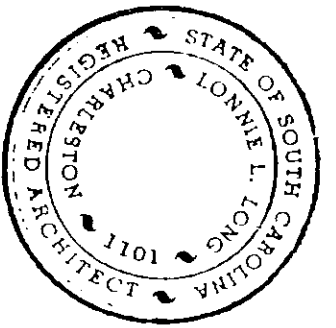
UNIT 403
MEZ.

UNIT 402
MEZ.

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S.C. Licensed Architect No. 1101



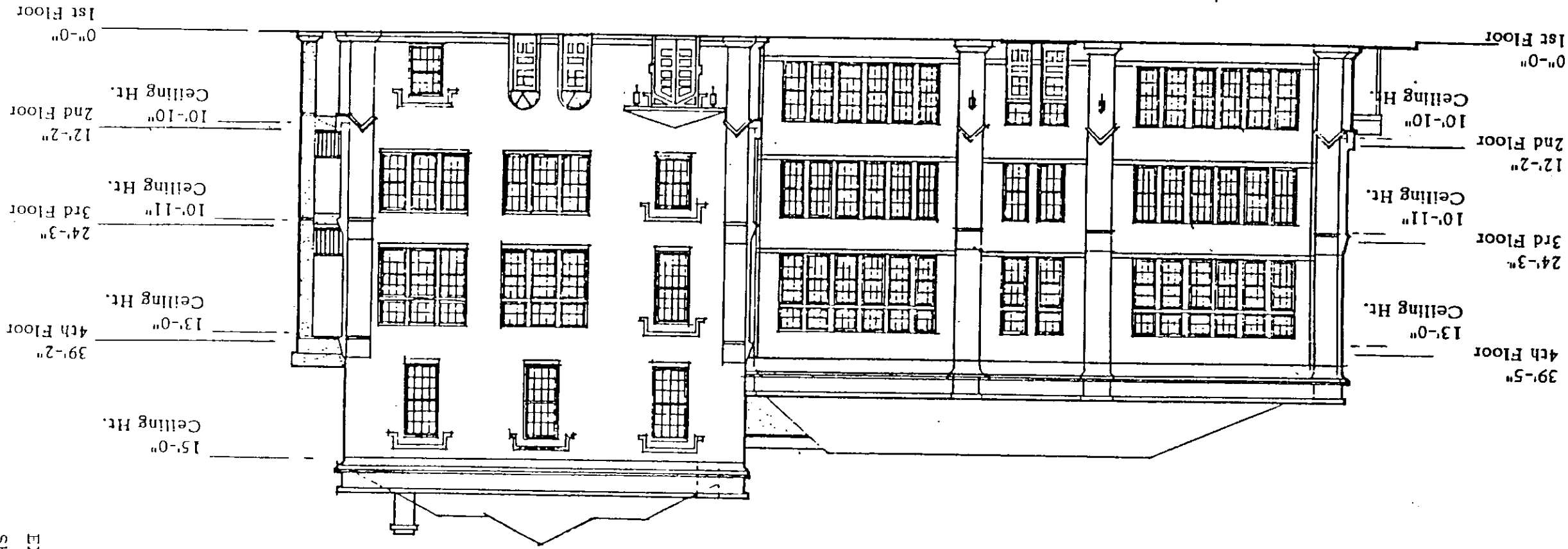


Note: Floor and ceiling heights constant on all sides.

CERTIFIED BY: *[Signature]*
 S.C. Licensed Architect No. 1101 (Seal)

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WEST ELEVATION
SCALE: 1/16" = 1'-0"



BK S 155-1555



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SCALE: 1/16" = 1'-0"

SOUTH ELEVATION



AK S 155-556



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 S.C. Licensed Architect No. 1101
 (Seal)

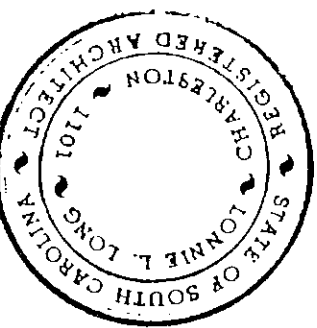
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SCALE: 1/16" = 1'-0"

LEGARE STREET ELEVATION

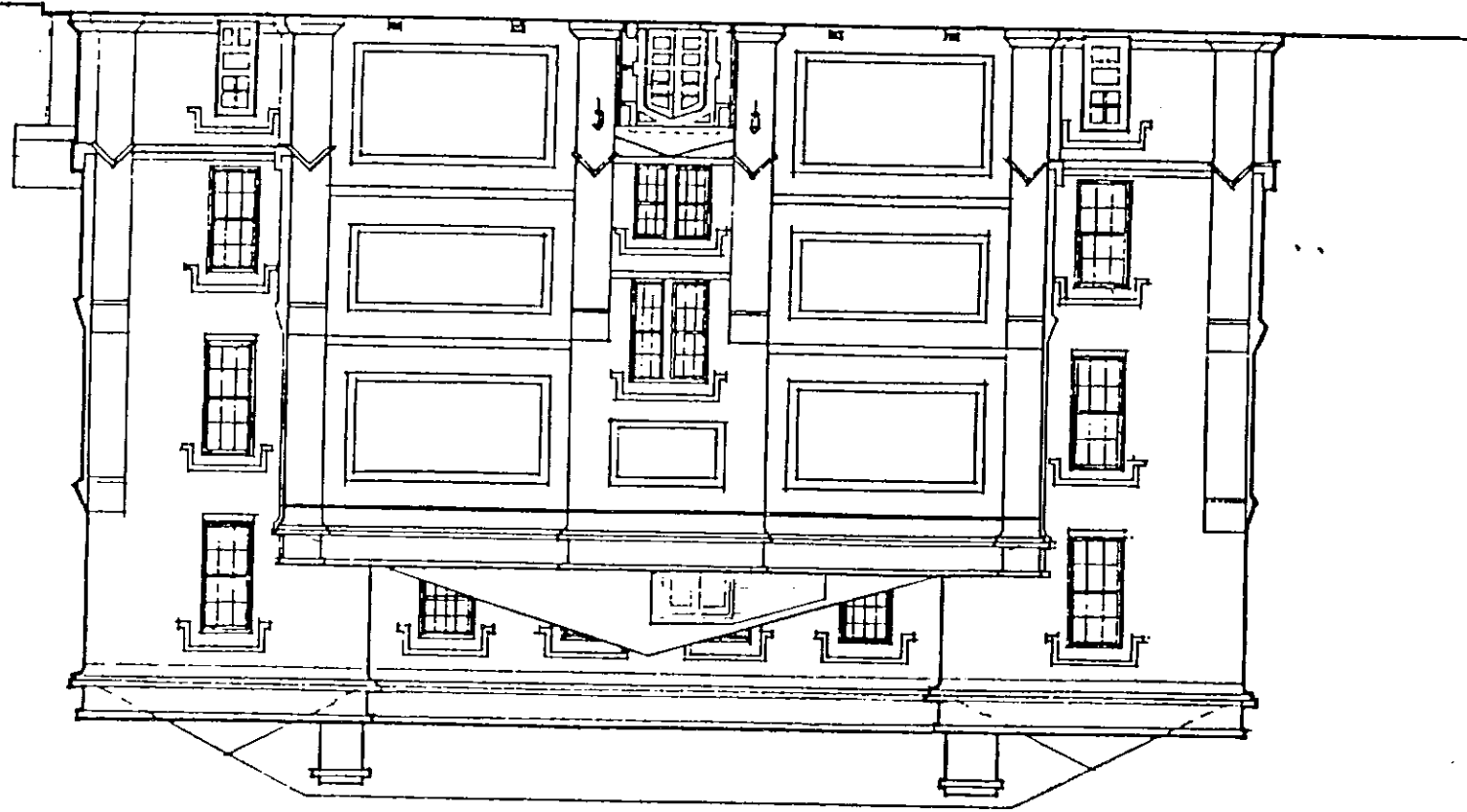


BK S 1558557



CERTIFIED BY: *Lonnie L. Long*
S.C. Licensed Architect No. 1101
(Seal)
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QUEEN STREET ELEVATION
SCALE: 1/16" = 1'-0"



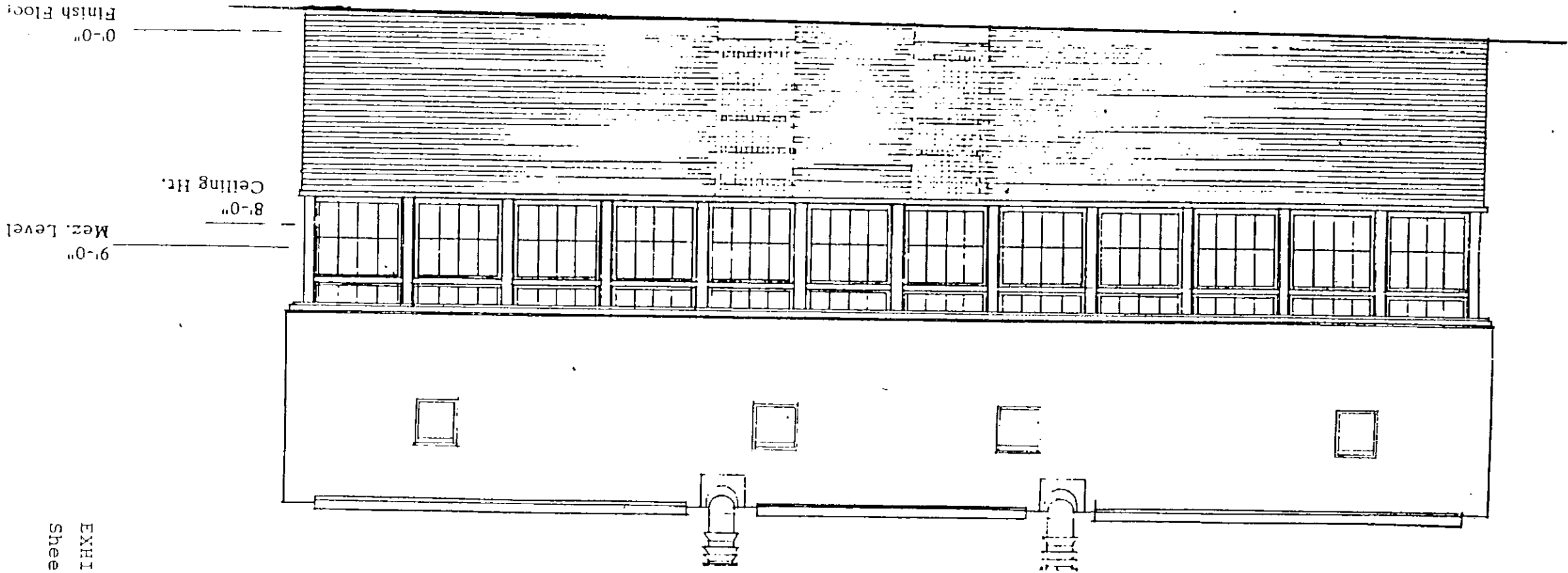
AK S 155-558



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SCALE: 3/16"=1'-0"

CARRIAGE HOUSE EAST ELEVATION

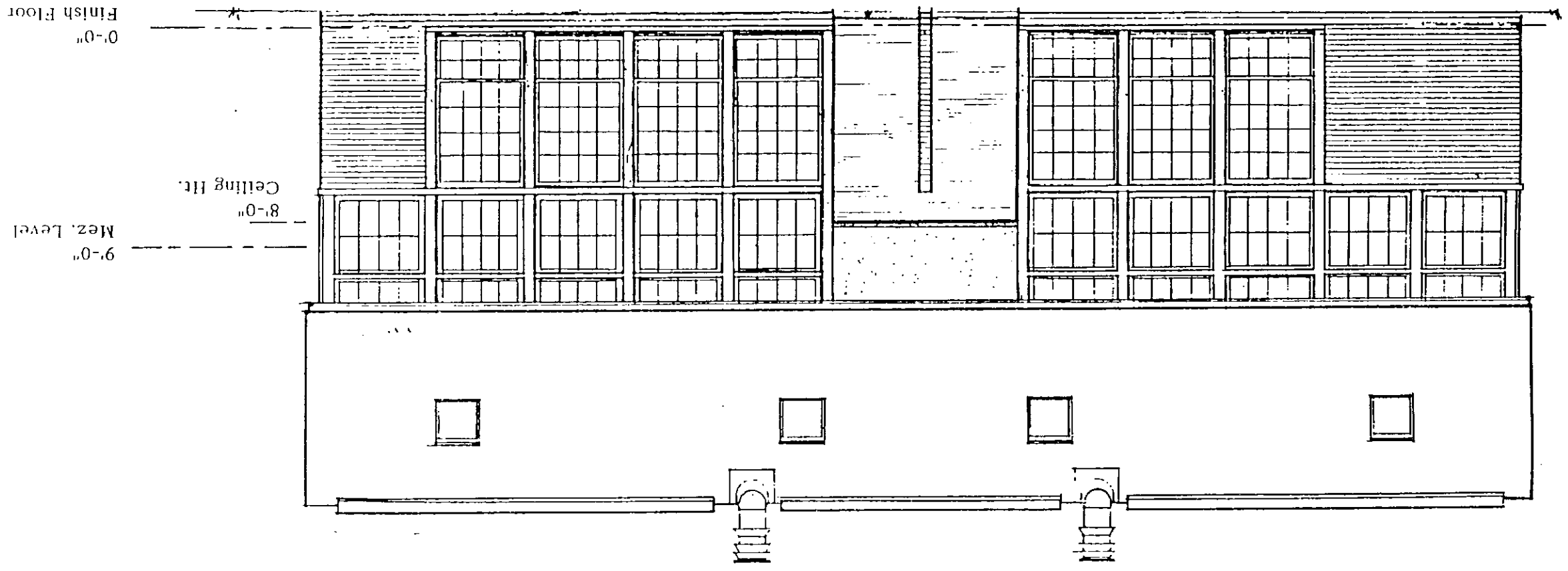


3K S 155pl 559

CARRIAGE HOUSE WEST ELEVATION

SCALE: 3/16"=1'-0"

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CERTIFIED BY: *[Signature]*
S.C. Licensed Architect No. 1101
(Seal)



JK S 155-6560

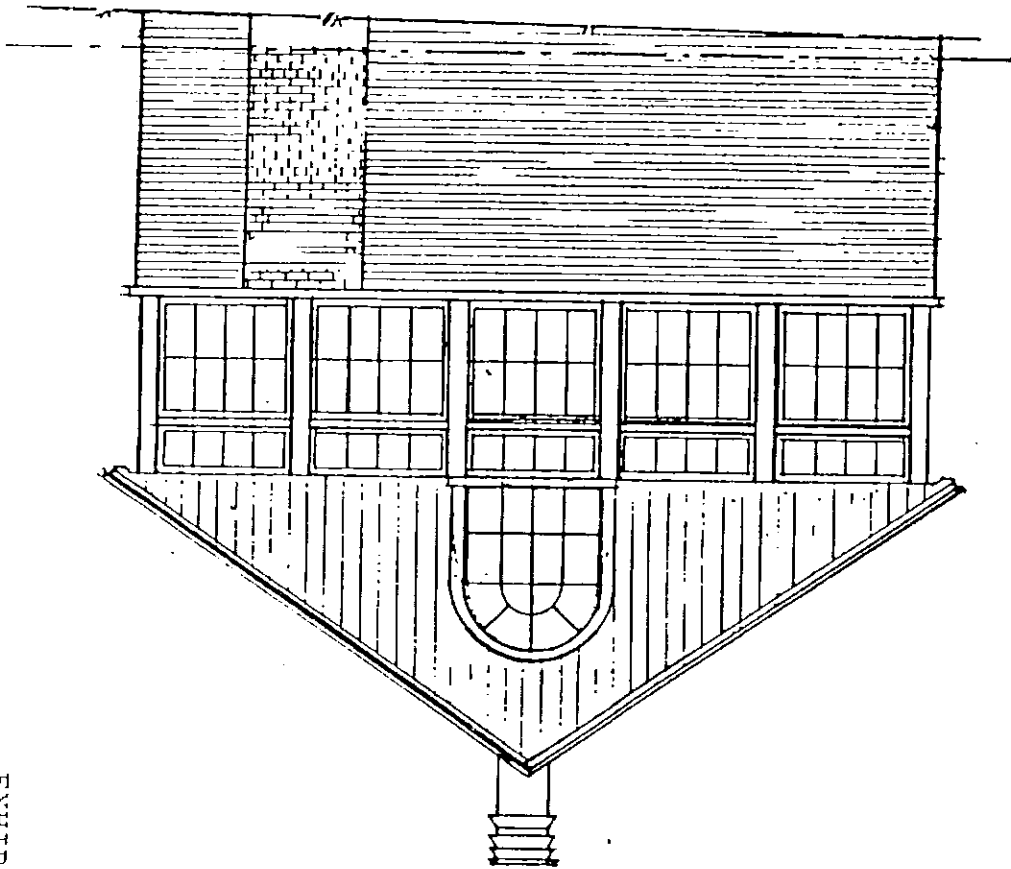
EXHIBIT "B"
Sheet 1 of 3



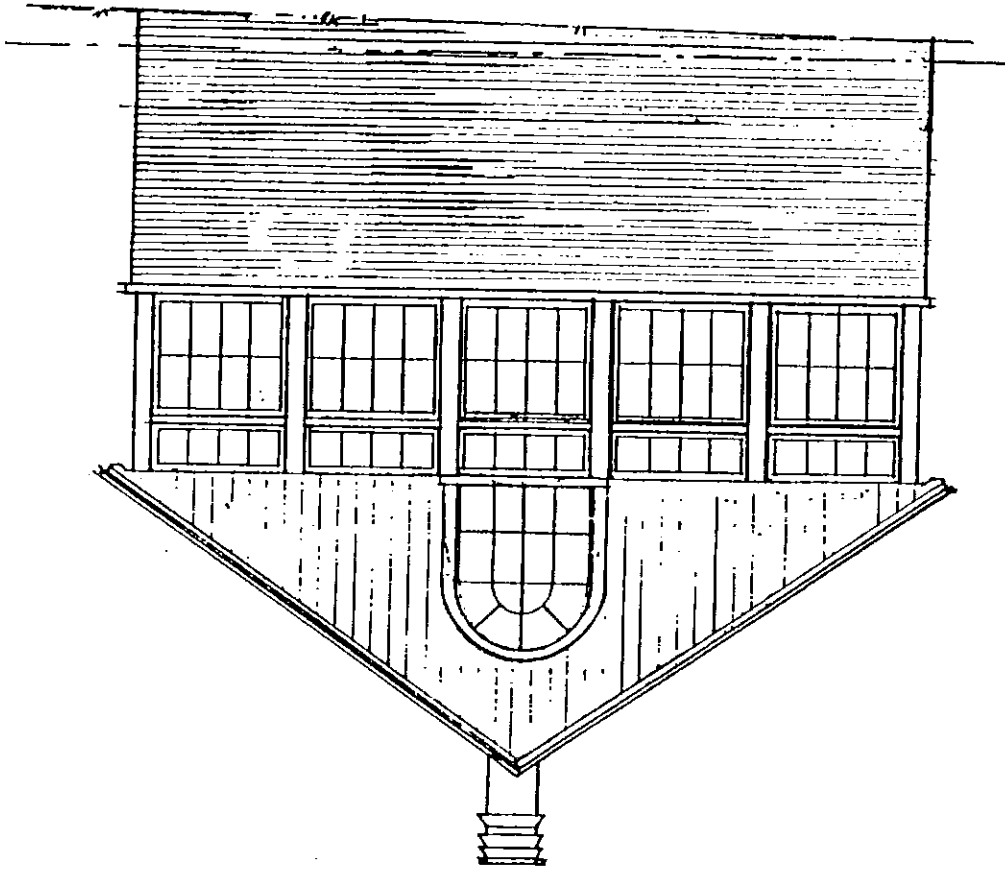
This Sheet drawn to scale but reduced in reproduction.
 CERTIFIED BY: *[Signature]* (Seal)
 S.C. Licensed Architect No. 1101
 Note: Floor and ceiling heights constant on all sides.

CARRIAGE HOUSE
 SCALE: 3/16" = 1'-0"

SOUTH ELEVATION



NORTH ELEVATION

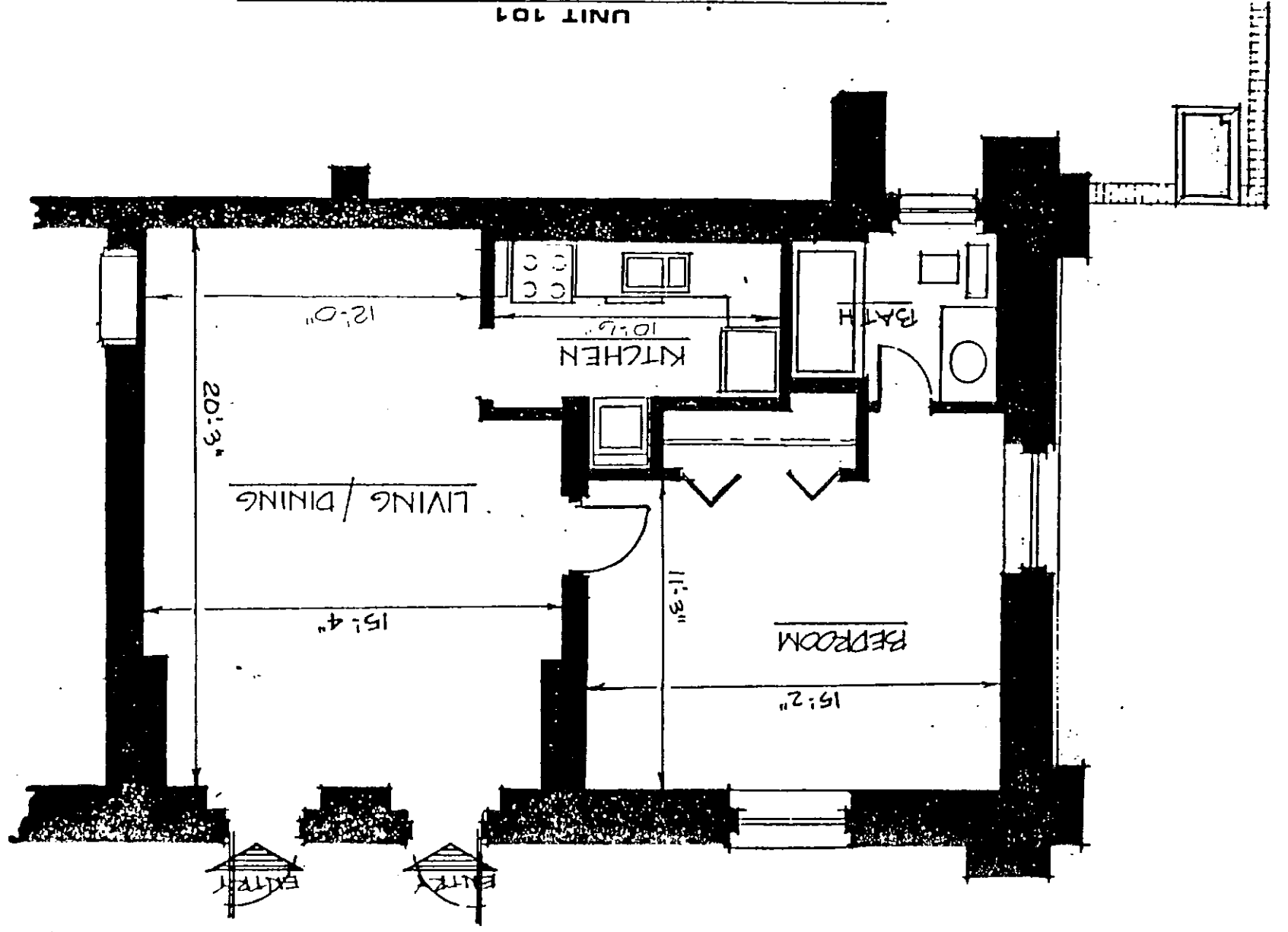


BK S 155-6561

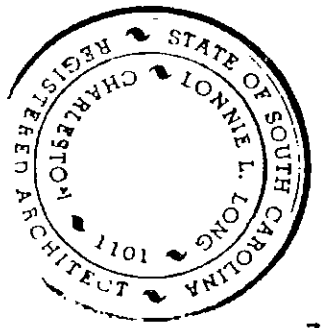
STEVE S & WILKINSON, INC.
S&W
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEANE ST. CHARLESTON, S.C.
CRAFTS HOUSE

SCALE: 3/16" = 1'-0"

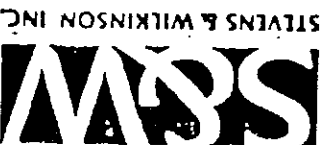
UNIT 101



BK S 155 P 6562



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 CERTIFIED BY: *[Signature]* (Seal)
 S.C. Licensed Architect No. 1101
 Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



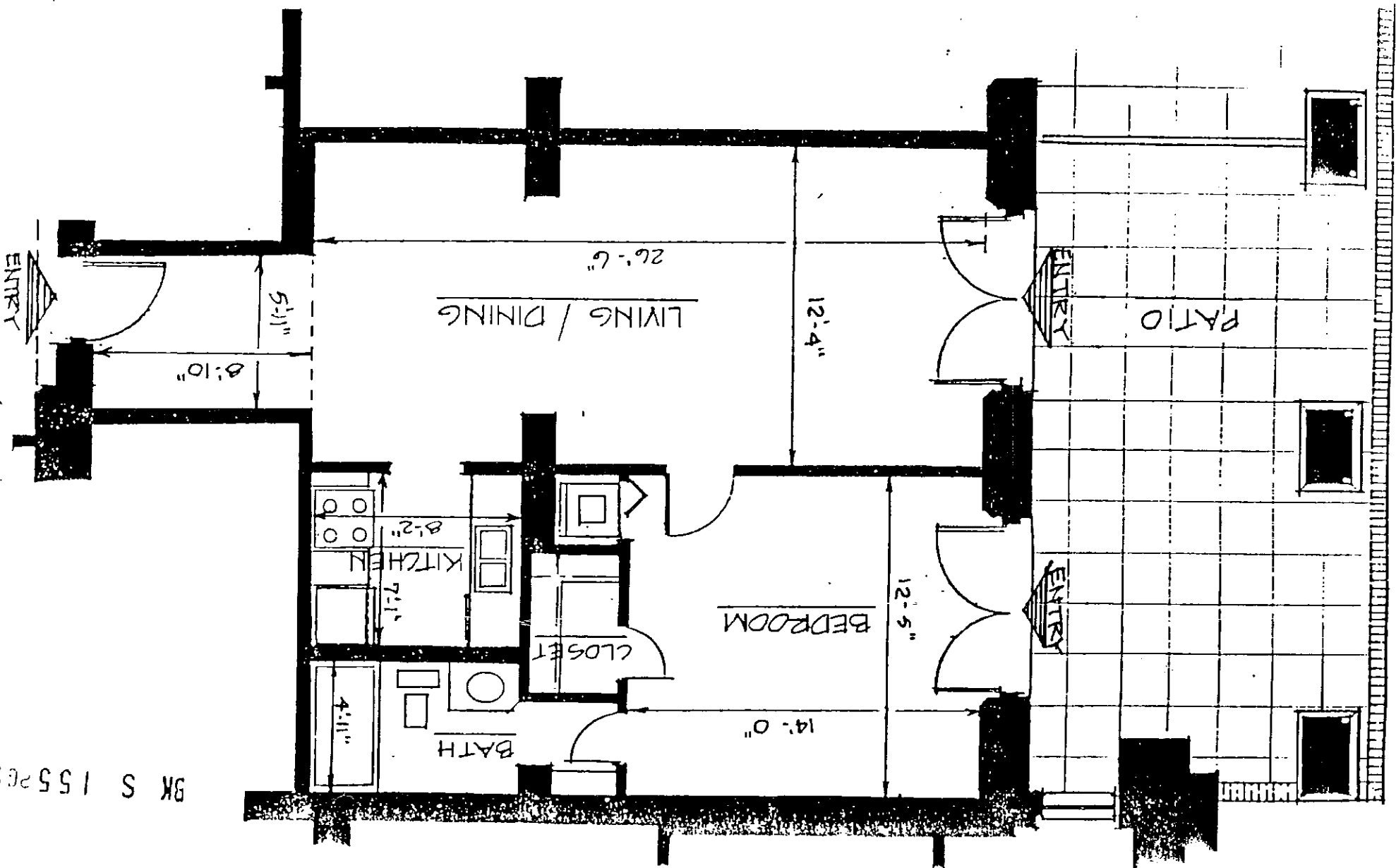
STEVENS & WILKINSON INC.

A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S.C.

CRAFTS HOUSE

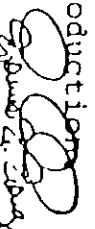
SCALE: 3/16" = 1'-0"

UNIT 102



BK S 15526563

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S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



EXHIBIT "B"

Sheet 4 of 51



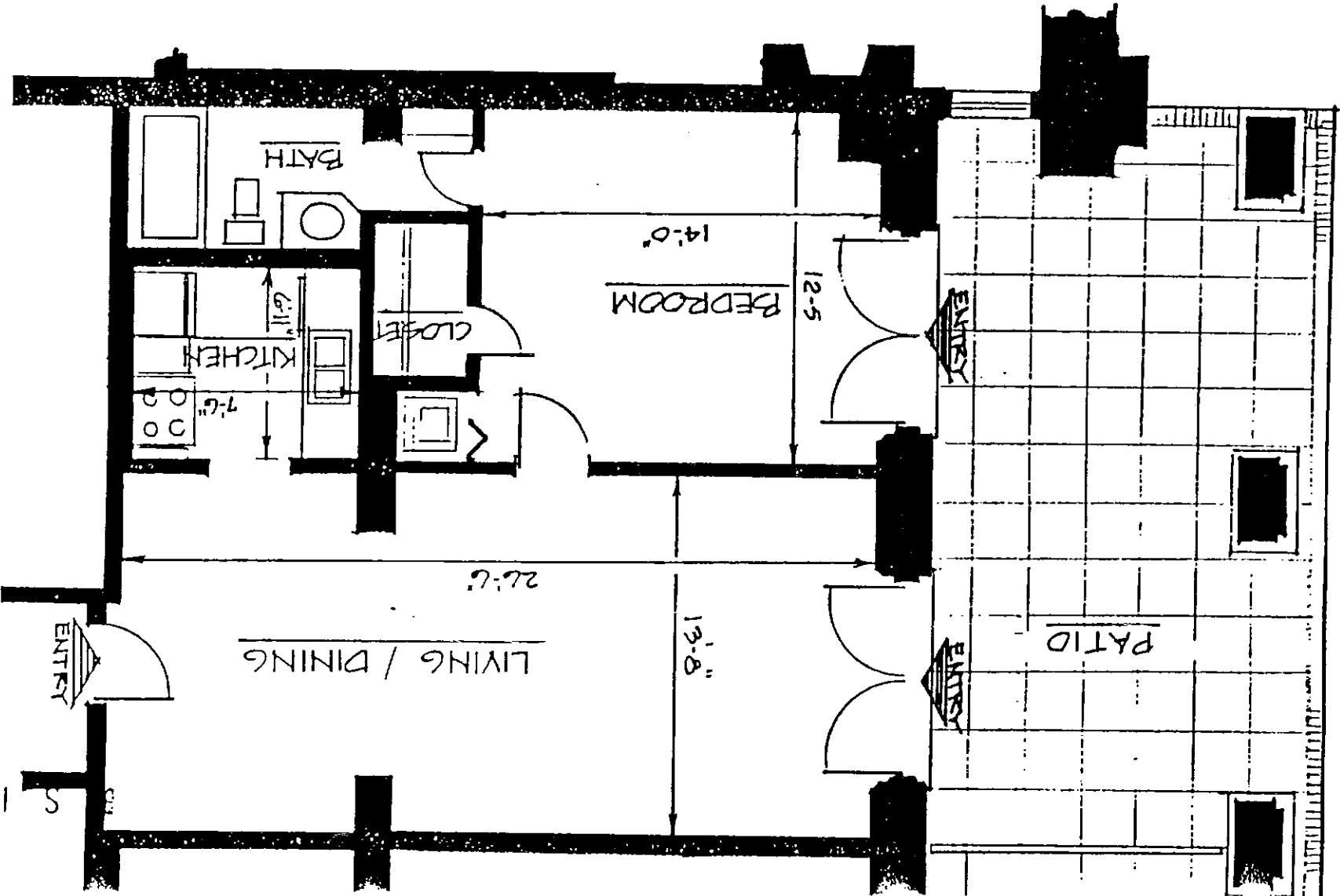
STEVENS & WILKINSON, INC.

A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEONARD ST.
CHARLESTON, S.C.

CRAFTS HOUSE

SCALE: 3/16" = 1'-0"

UNIT 103

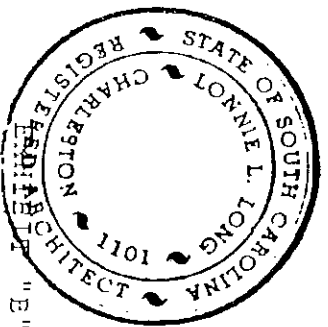


S 155 PG 564

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S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



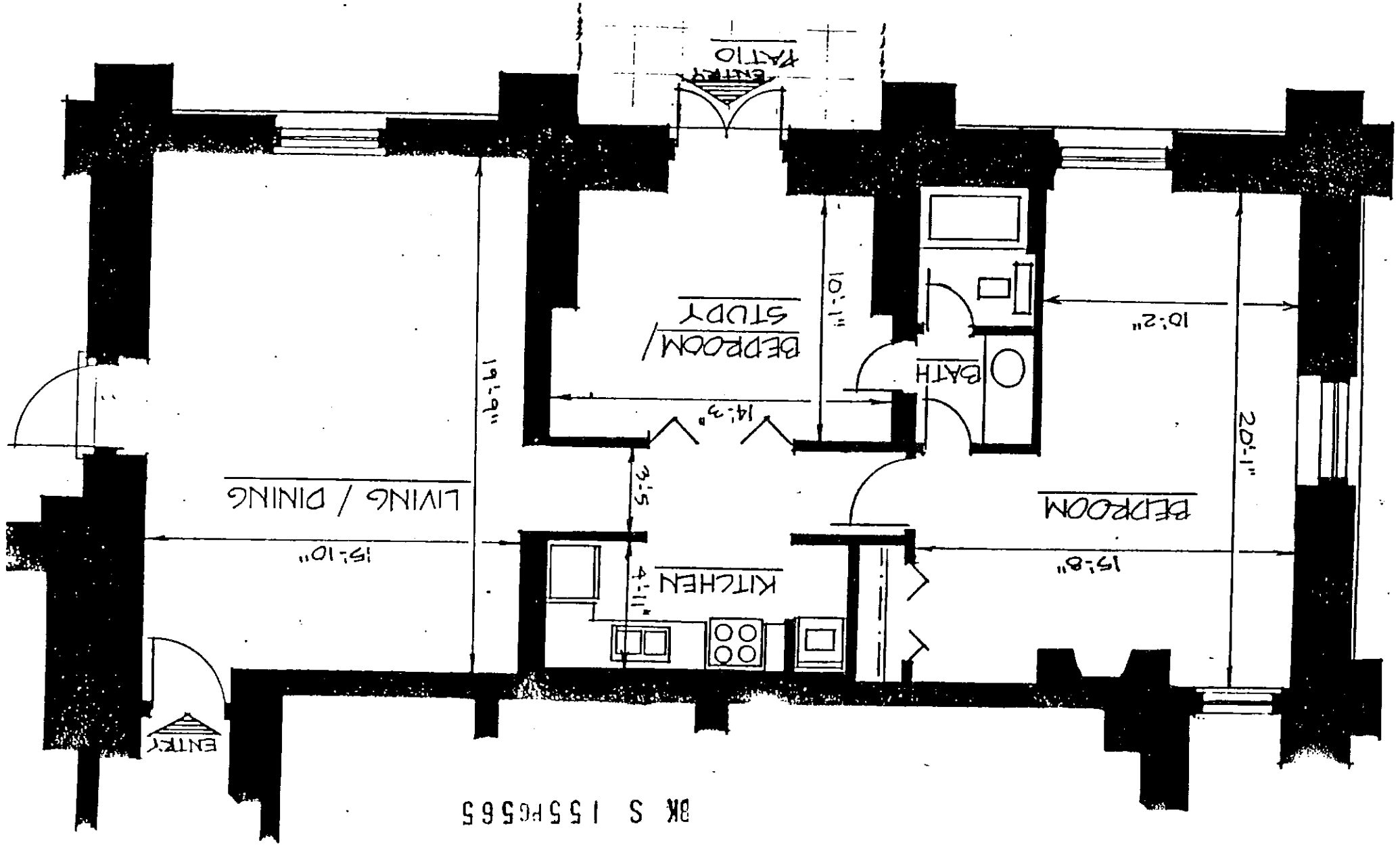
A 30 UNIT CONDOMINIUM DEVELOPMENT
67 LEGARE ST. CHARLESTON, S.C.

CRAFTS HOUSE



SCALE: 3/16" = 1'-0"

UNIT 104

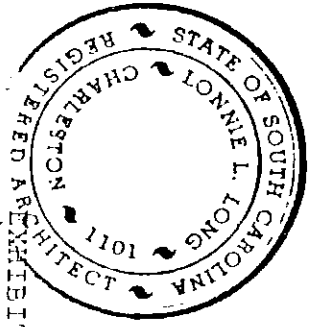


BK S 155P6565

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CERTIFIED BY *[Signature]* (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.

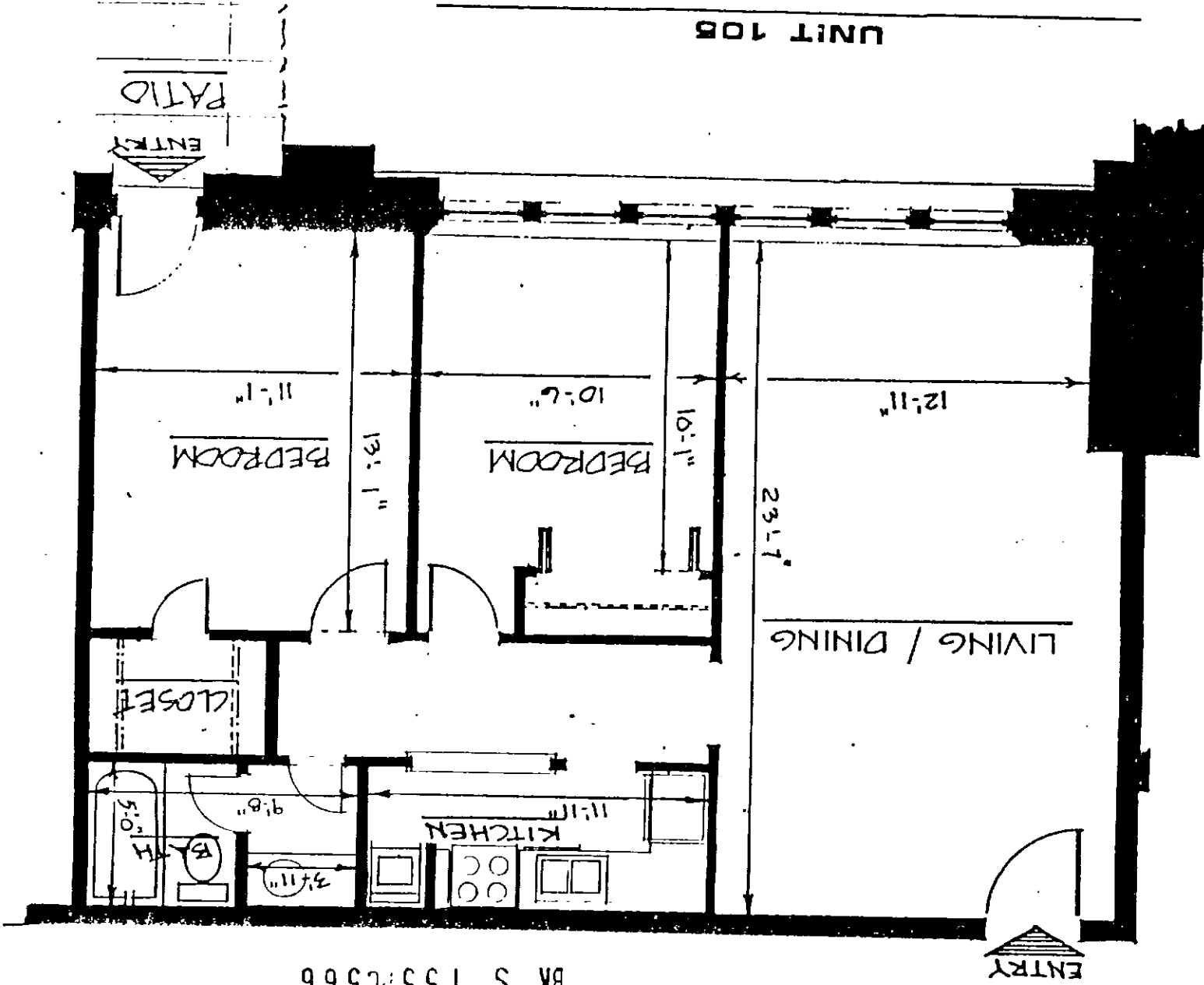




CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEONARD ST.
 CHARLESTON, S.C.

SCALE: 3/16" = 1'-0"

UNIT 105

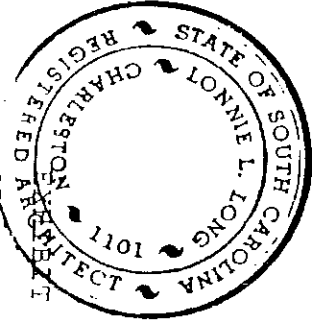


BK S 15526566

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 S.C. Licensed Architect No. 1101

Proch, Balcony, or Patio, if shown, is not within the Apartment Description.

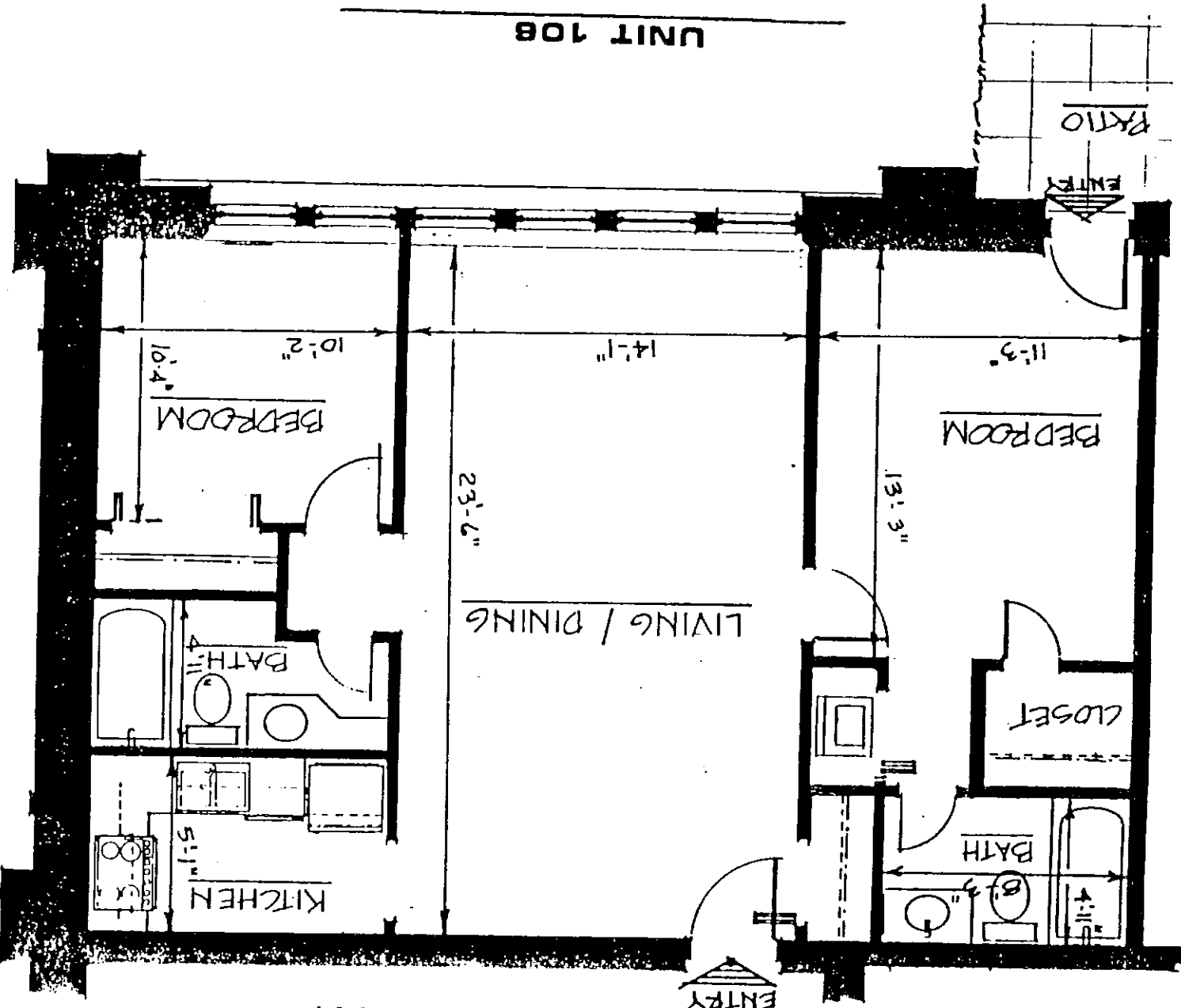


S&W

CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEONARD ST. CHARLESTON, S.C.

SCALE: 3/16" = 1'-0"

UNIT 108

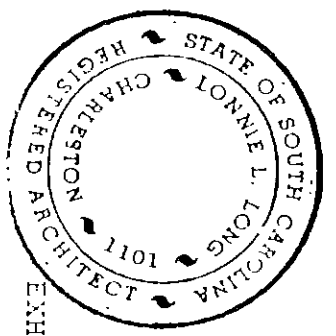


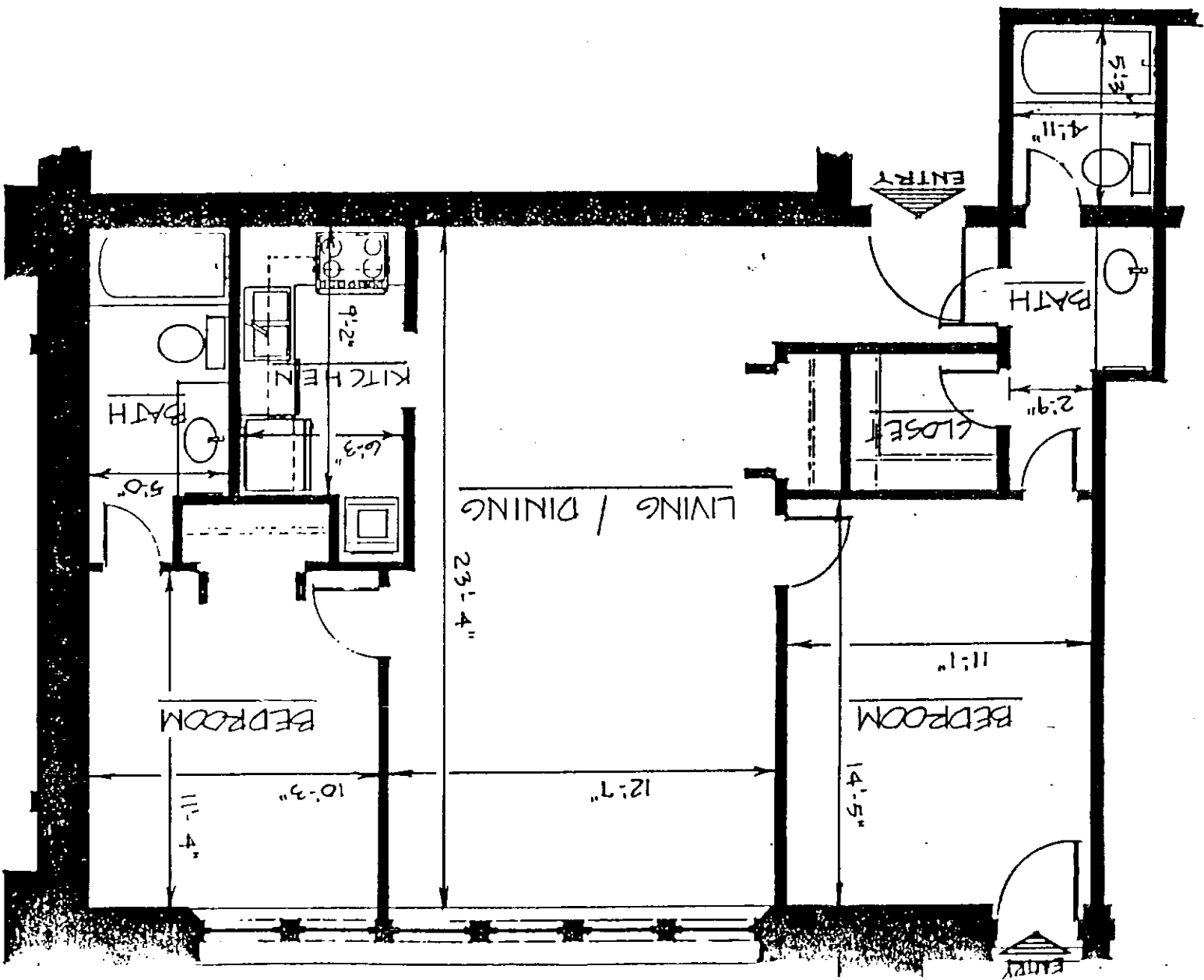
BK S 155P567

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S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.





CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST. CHARLESTON, S. C.



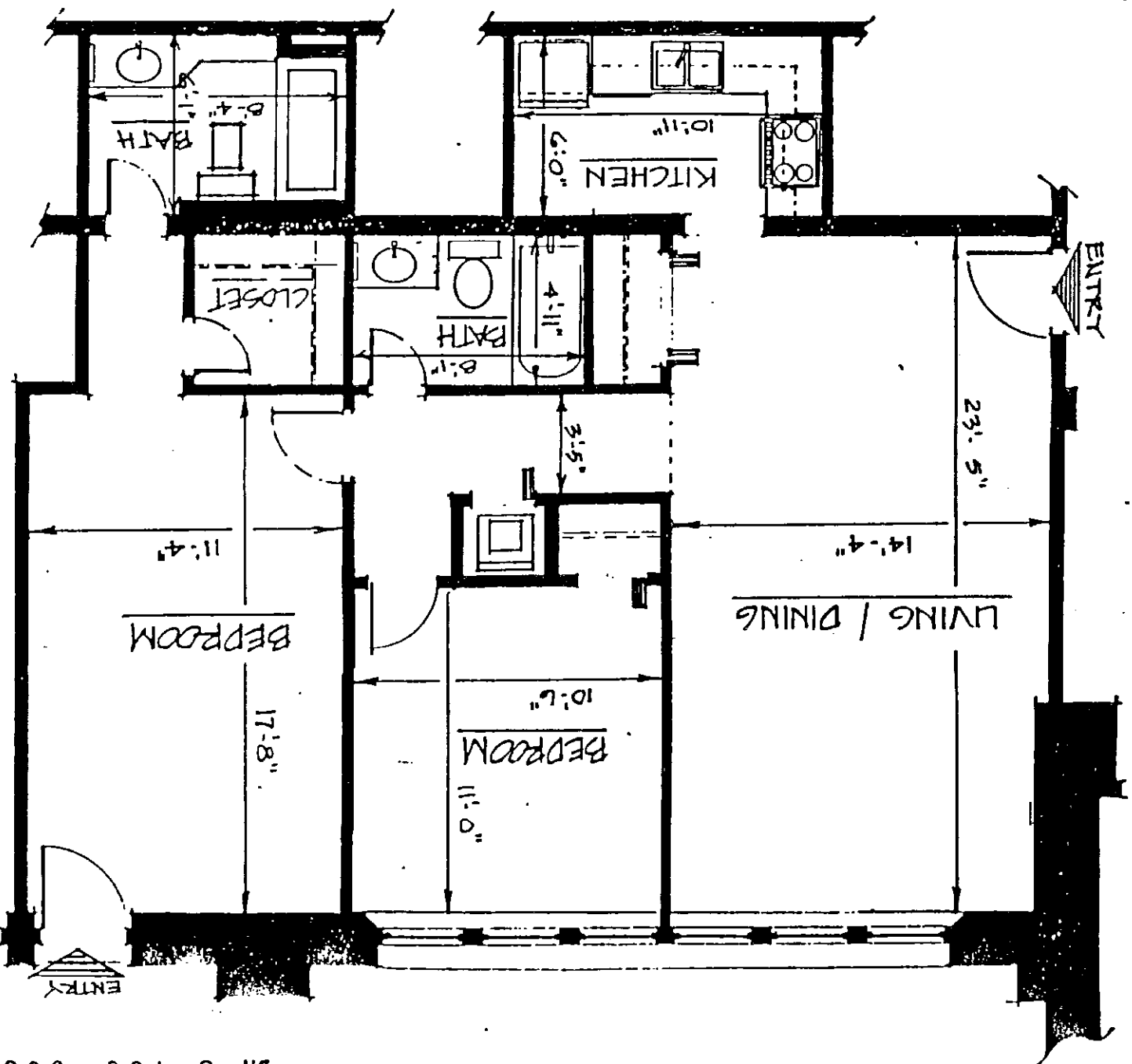
SCALE: 3/16" = 1'-0"

UNIT 107

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 S.C. Licensed Architect No. 1101
 Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



BK S 15590568



UNIT 108

SCALE: 3/16" = 1'-0"

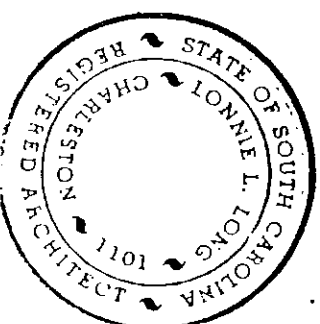
EX S 155-569

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S.C. Licensed Architect No. 1101

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CRAFTS HOUSE

A 50 UNIT CONDOMINIUM DEVELOPMENT
 67 LEGARE ST. CHARLESTON, S. C.



STEVENS & WILKINSON, INC.

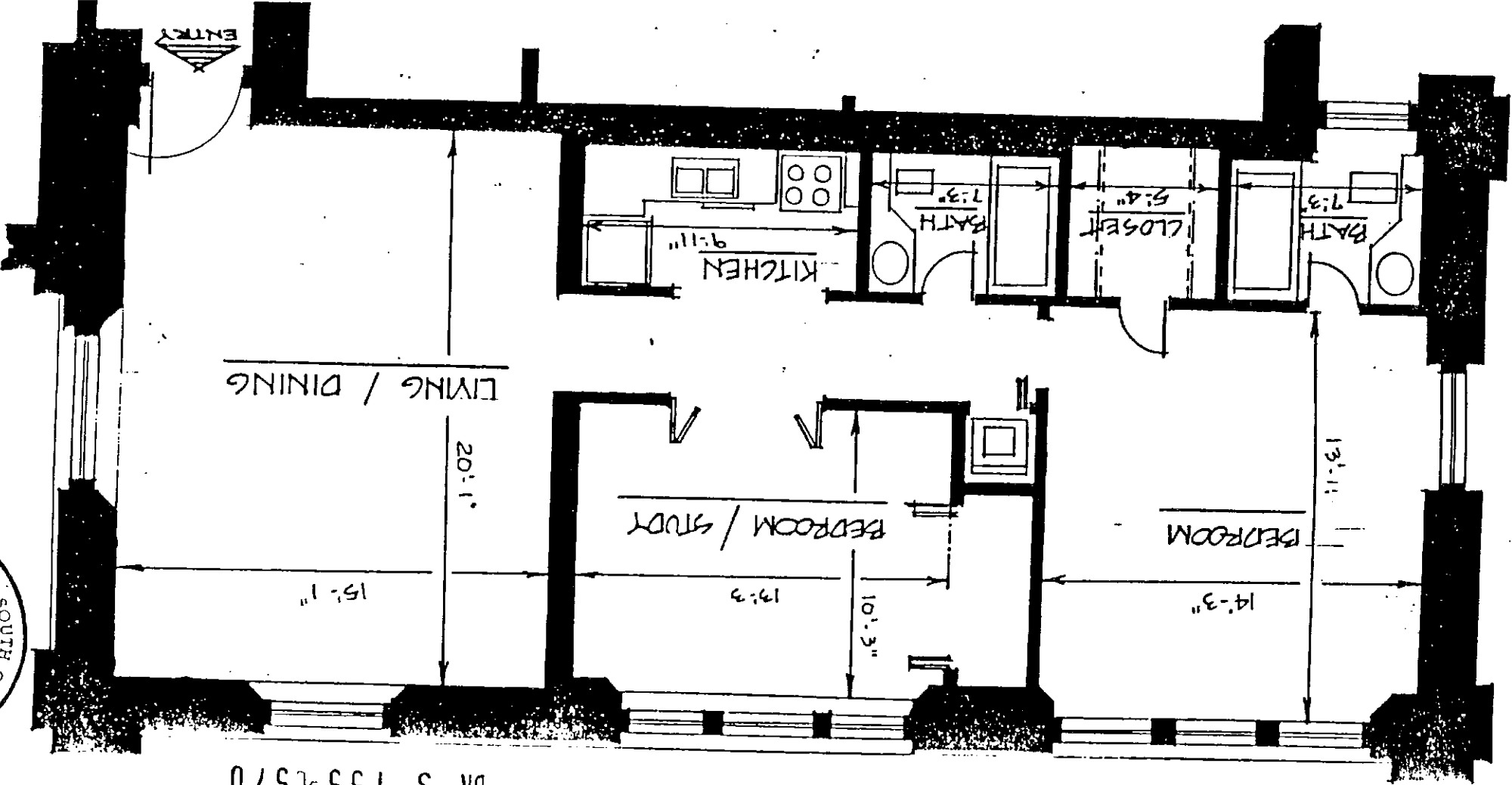
EXHIBIT "B"



CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST.
 CHARLESTON, S. C.

SCALE: 3/16" = 1'-0"

UNIT 201



BK S 15526570

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 S.C. Licensed Architect No. 1101

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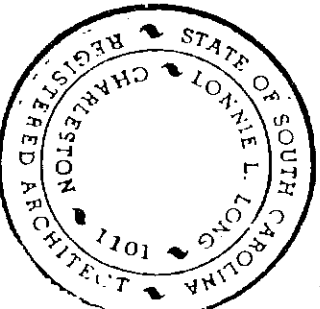


EXHIBIT "B"

Sheet 7 of 8

Framing in this Unit not completed
as of 11/14/85. Dimensions based
on Contract Documents.

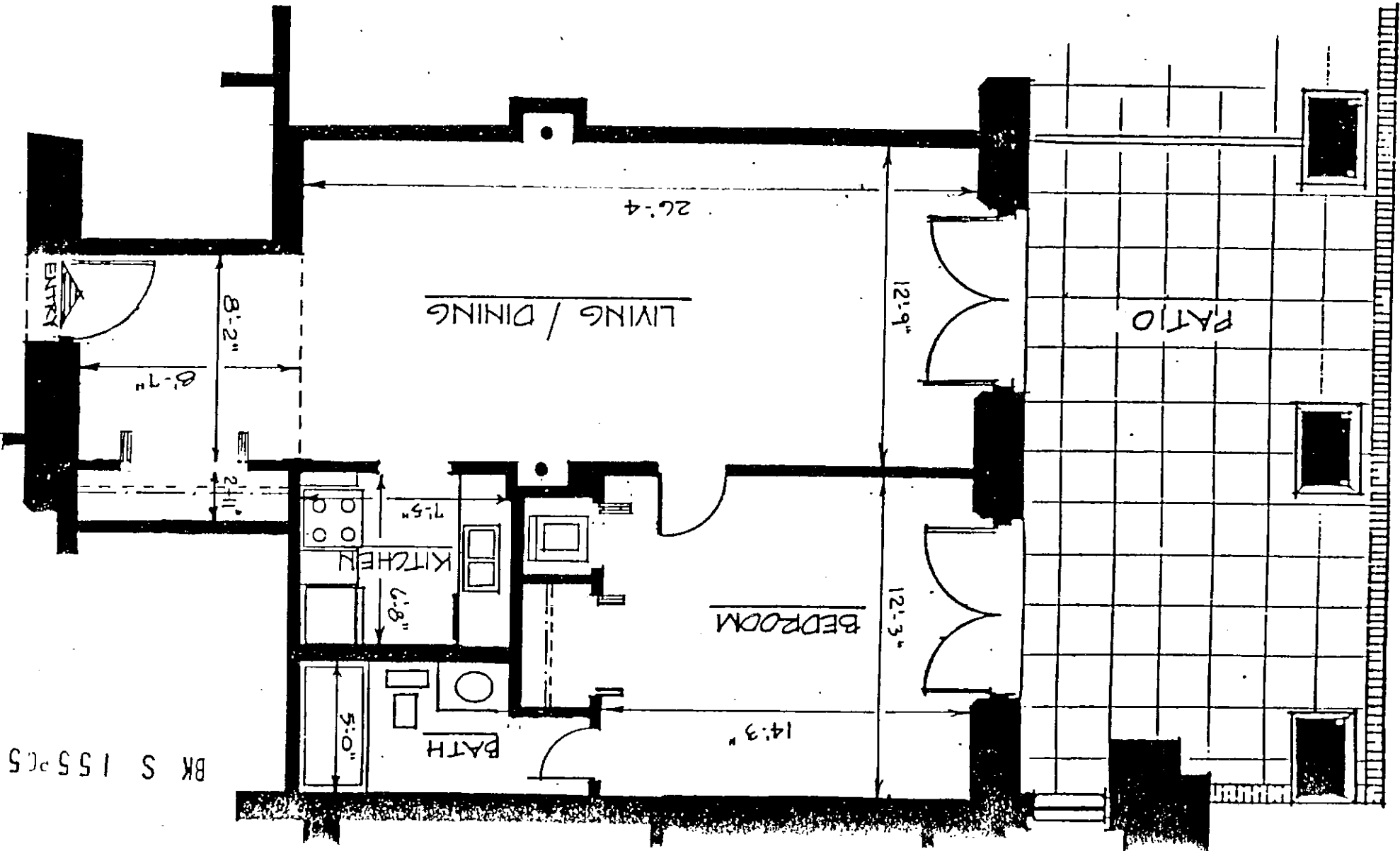
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.



STEVENS & WILKINSON, INC.

SCALE: 3/16" = 1'-0"

UNIT 202



BK S 1550571

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S.C. Licensed Architect No. 1101

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is not within the Apartment Description.

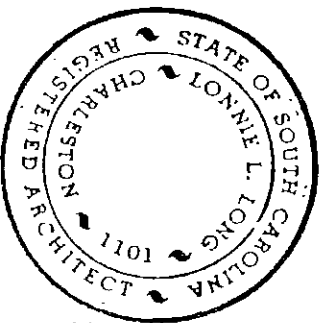


EXHIBIT "B"
Sheet 1 of 5

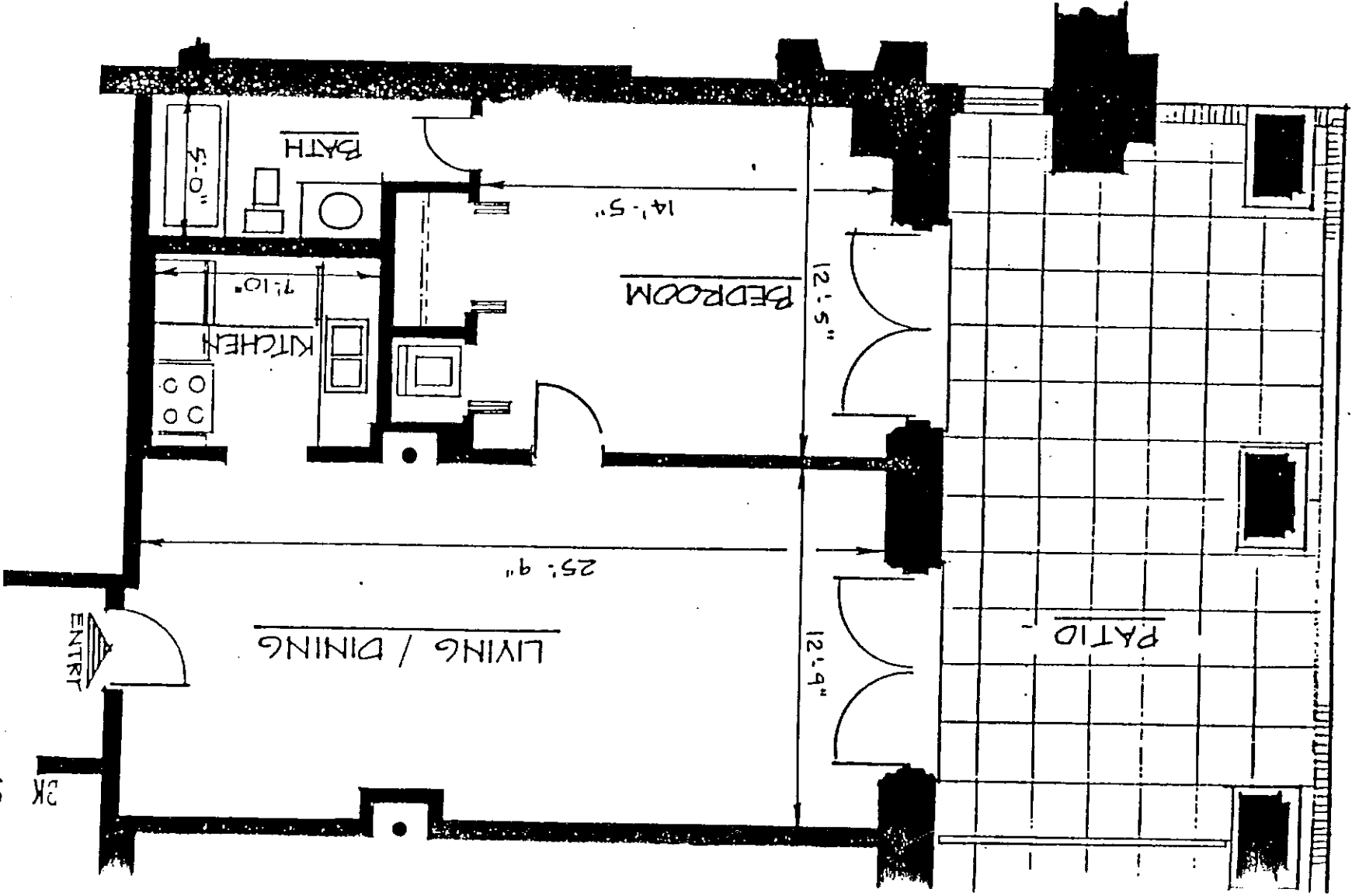


STEVENS & WILKINSON, INC.

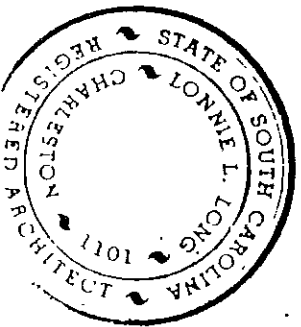
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
67 LEGARE ST. CHARLESTON, S. C.

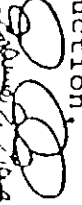
SCALE: 3/16" = 1'-0"

UNIT 203



2K S 15526572



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CERTIFIED BY:  (Seal)
S.C. Licensed Architect No. 1101

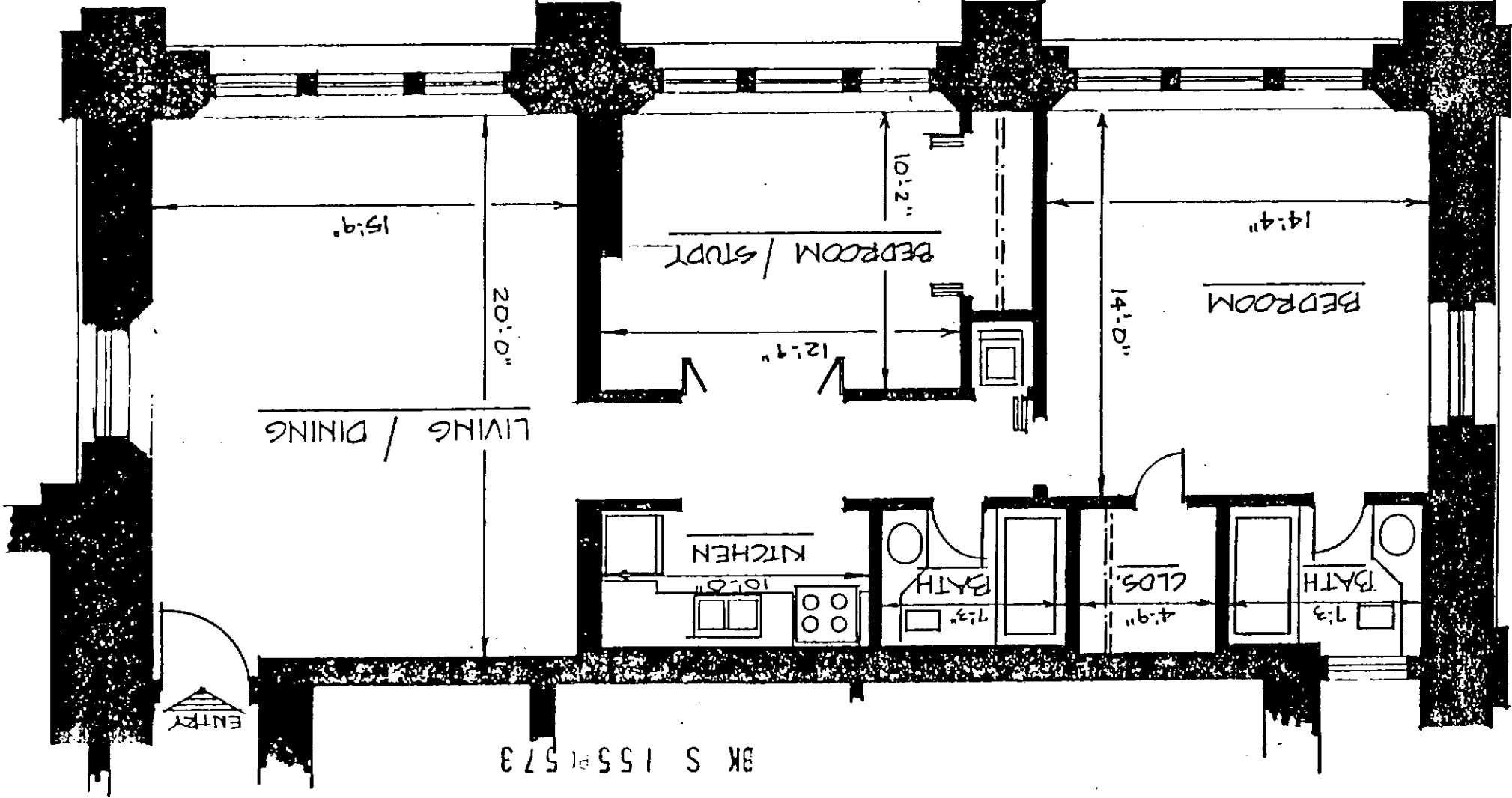
Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST.
 CHARLESTON, S. C.

SCALE: 3/16" = 1'-0"

UNIT 204



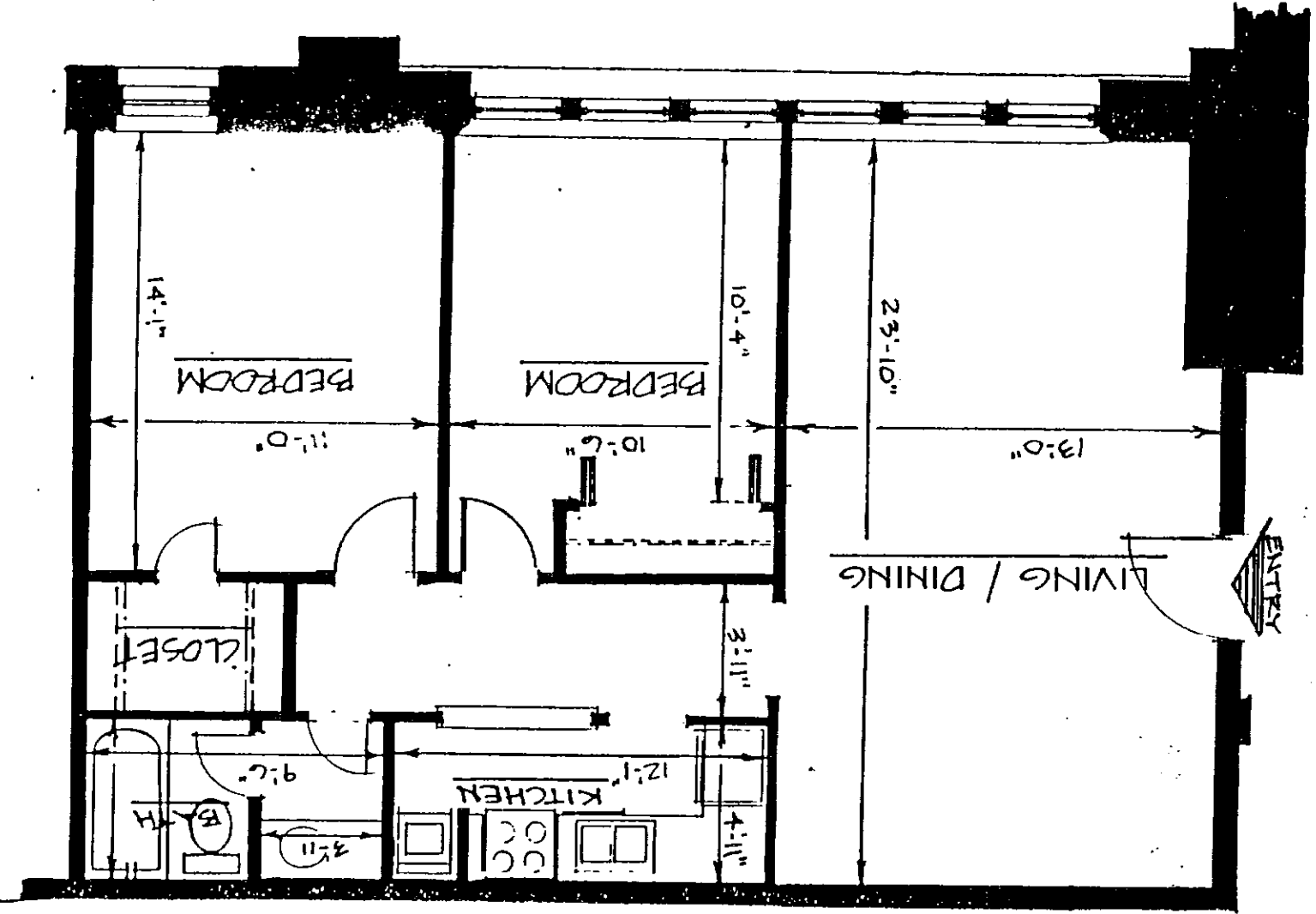
BK S 155P 573

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 S.C. Licensed Architect No. 1101

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SCALE: 3/16" = 1'-0"

UNIT 205

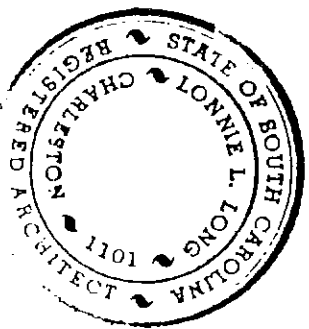
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.



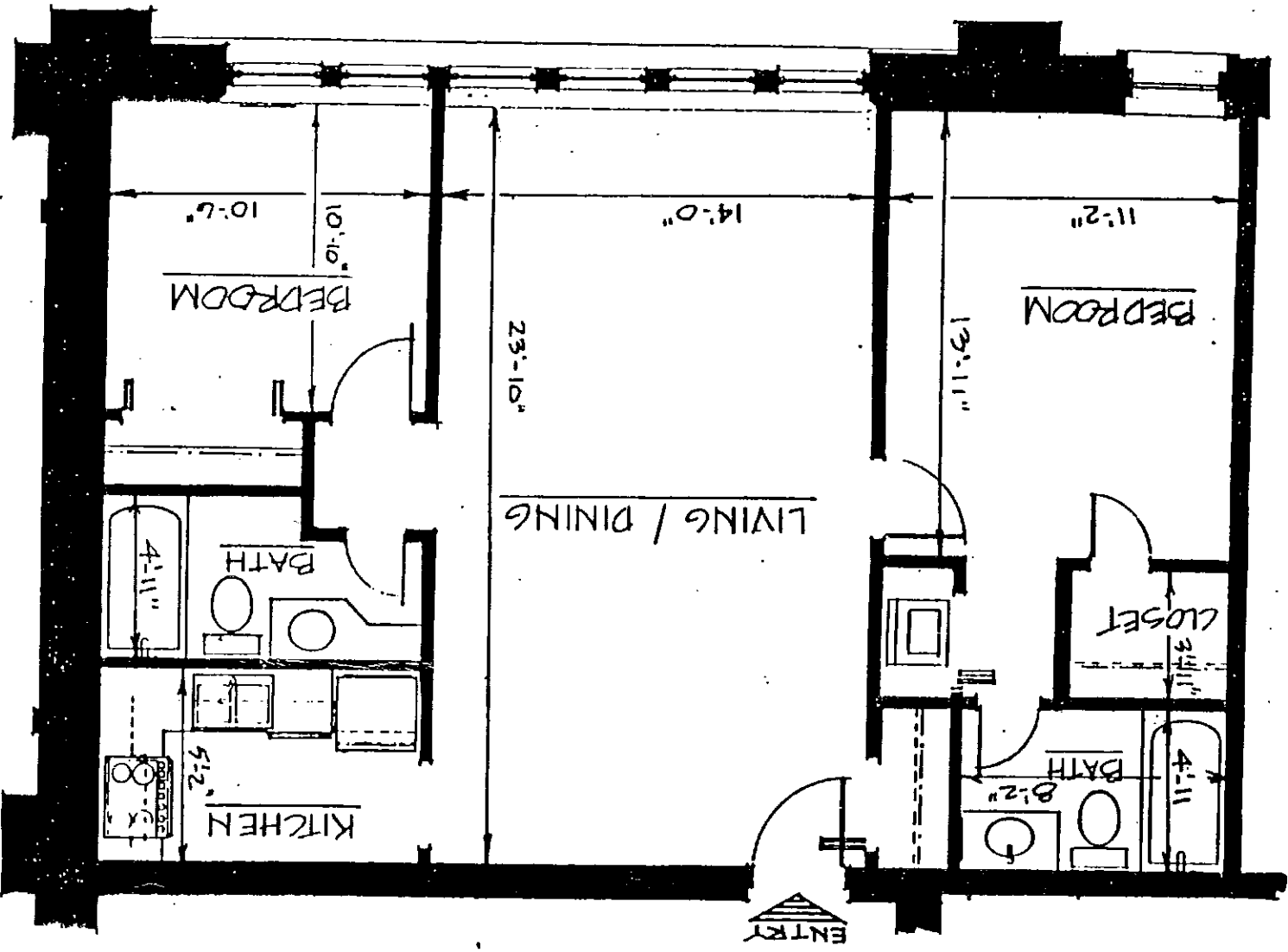
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S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



BK S 155 PG 575



UNIT 206

SCALE: 3/16" = 1'-0"

CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 07 LEAURE BL. CHARLESTON, S. C.



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 CERTIFIED BY: *[Signature]* (Seal)
 S.C. Licensed Architect No. 1101
 Porch, Balcony, or Patio, if shown, is not within the Apartment Description.

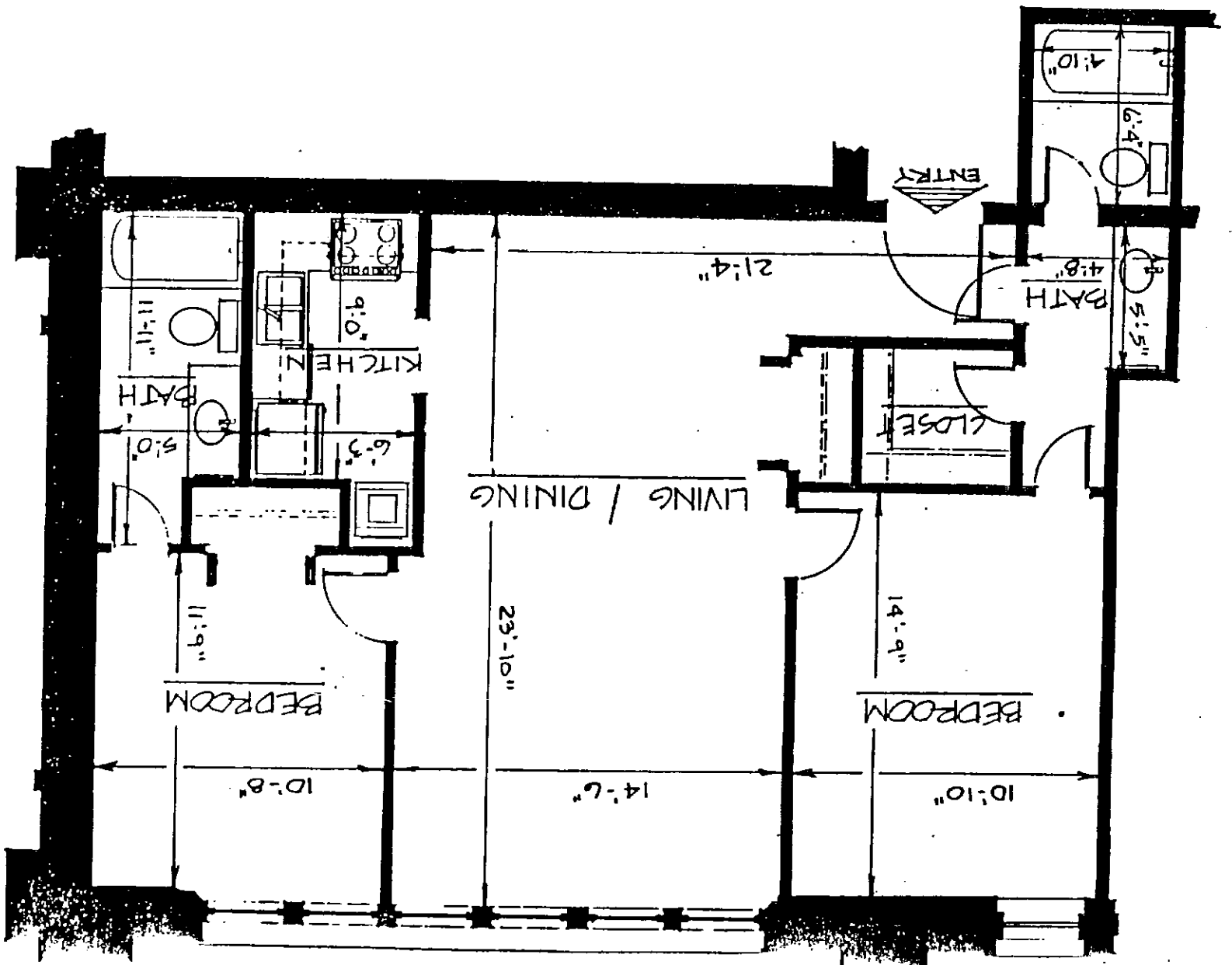


CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST. CHARLESTON, S.C.



SCALE: 3/16" = 1'-0"

UNIT 207



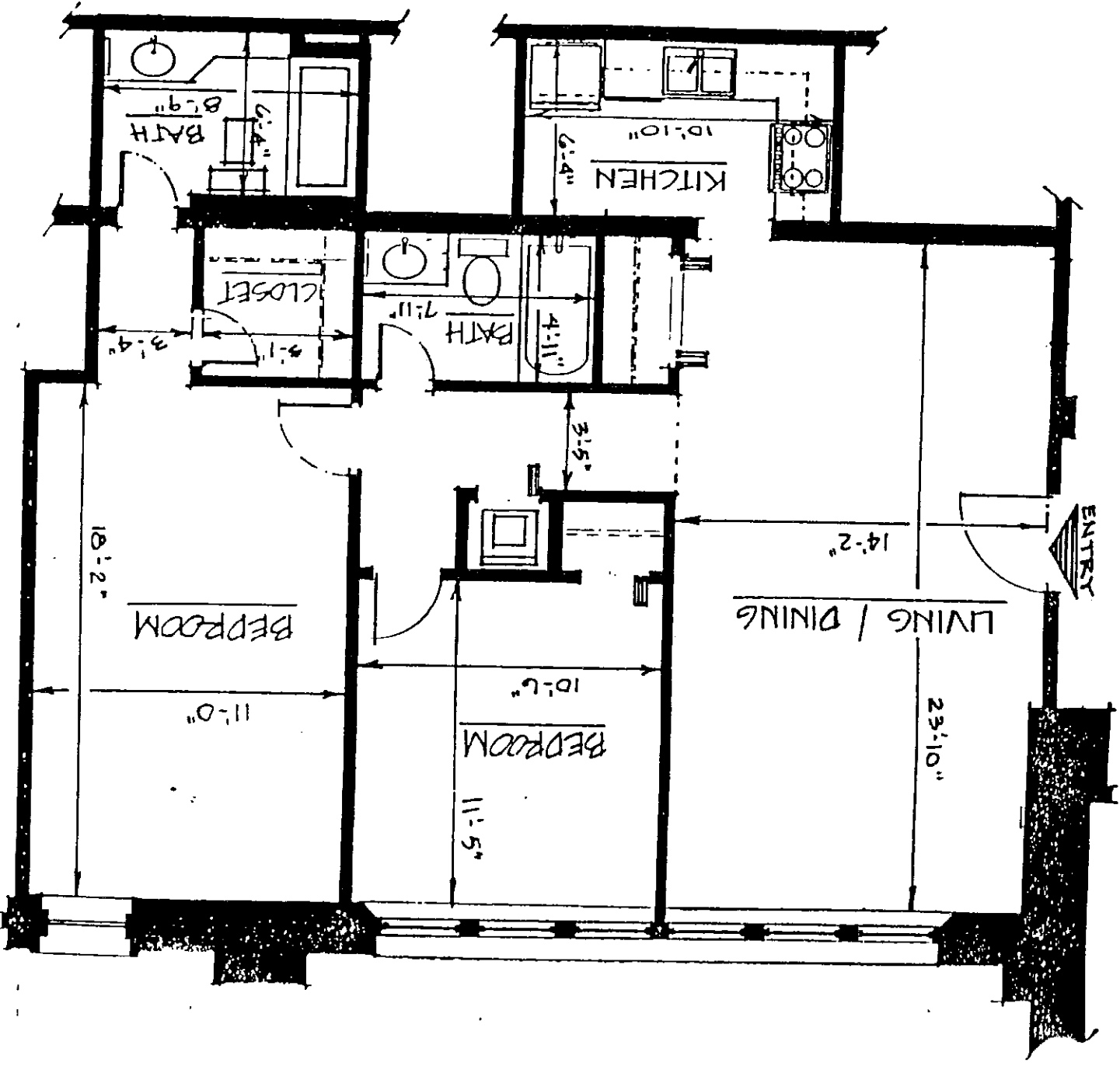
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CERTIFIED BY: [Signature] (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



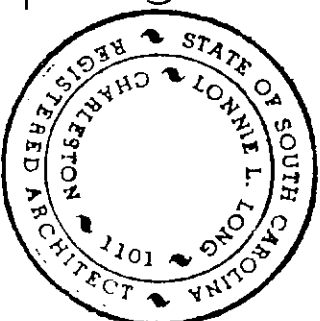
UNIT 208



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S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



CRAFTS HOUSE

A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST. CHARLESTON, S. C.



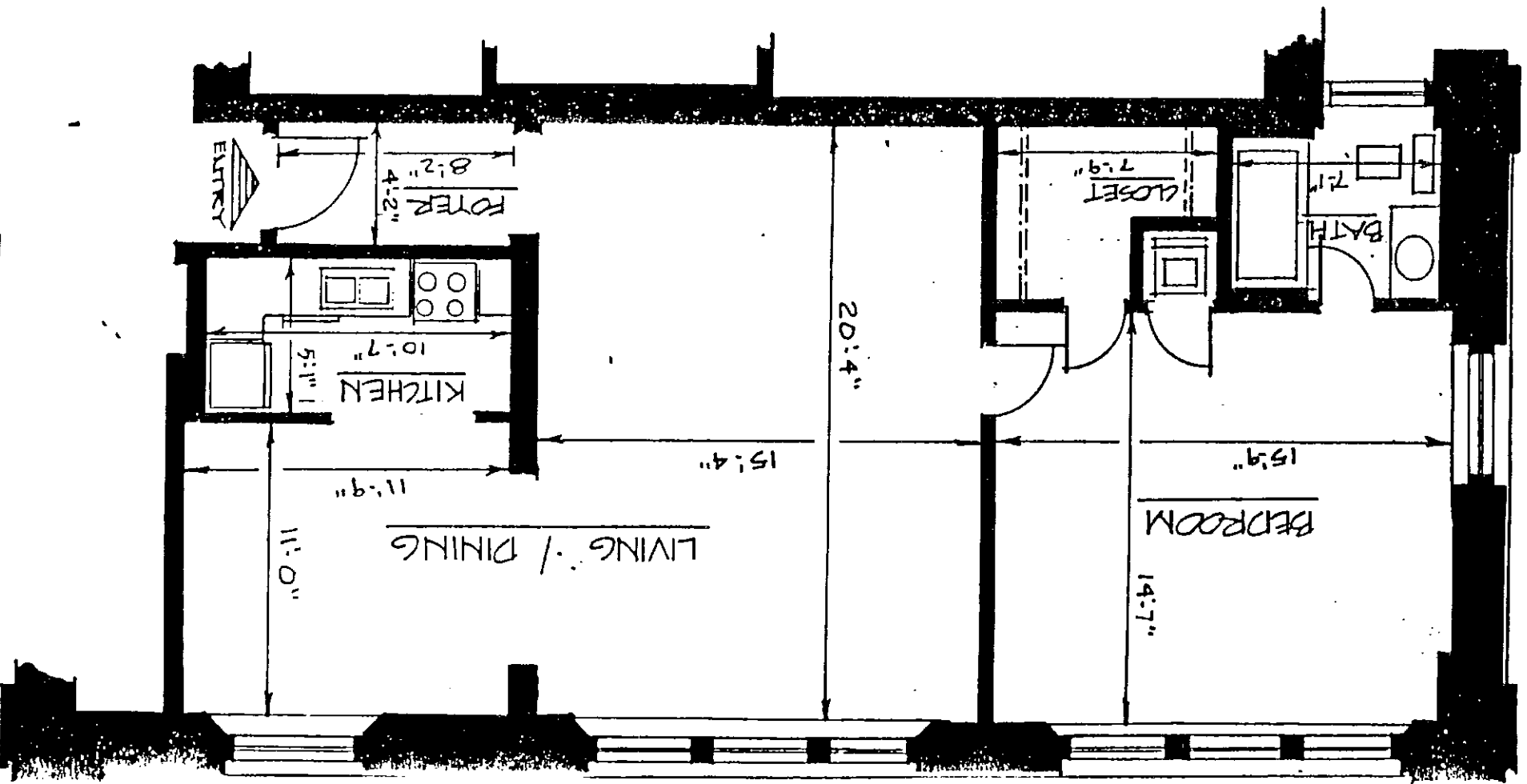
Framing in this Unit not completed as of 11/14/85. Dimensions based on Contract Documents.

CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST. CHARLESTON, S. C.



SCALE: 3/16" = 1'-0"

UNIT 301



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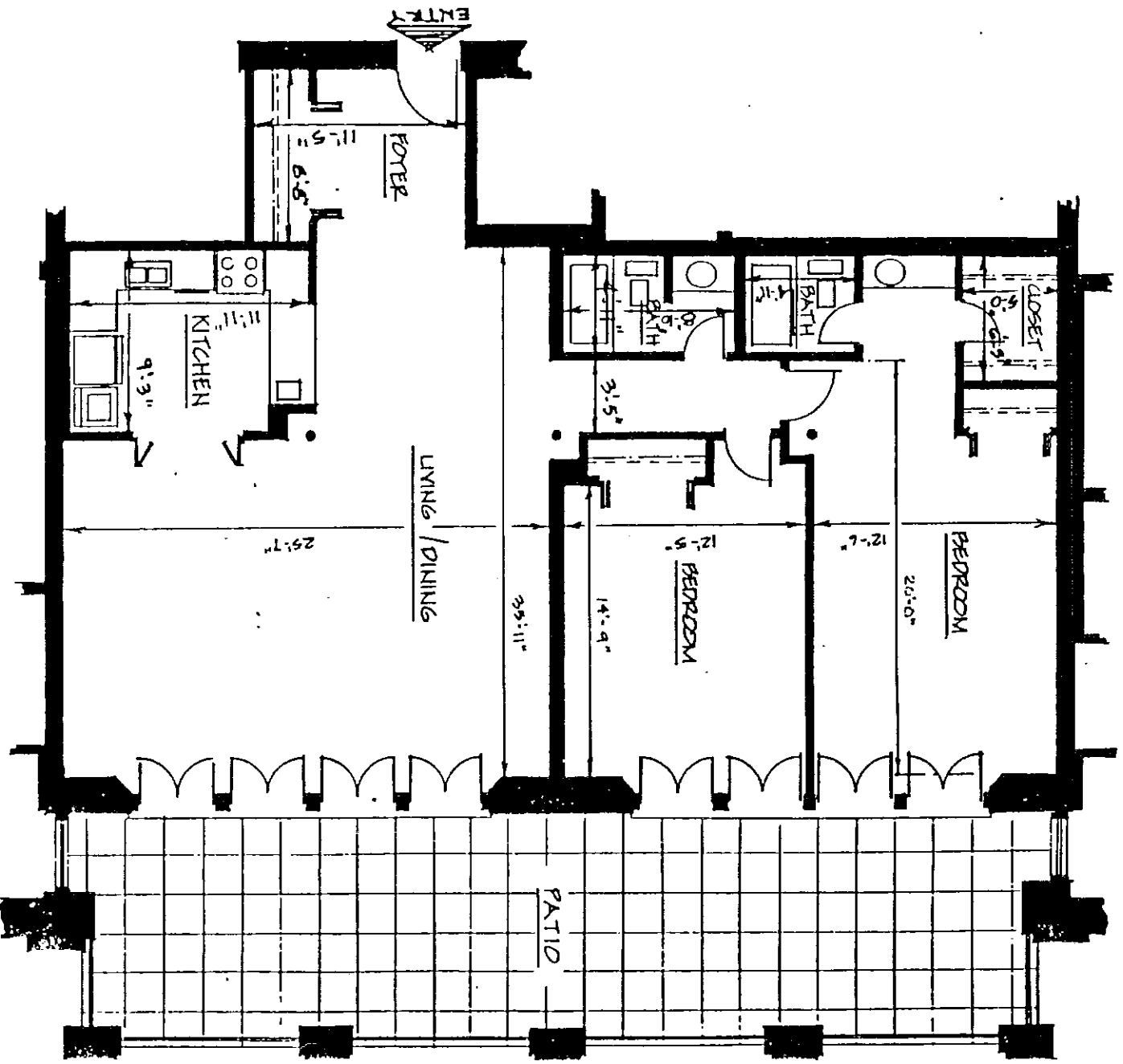
CERTIFIED BY: *[Signature]* (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.

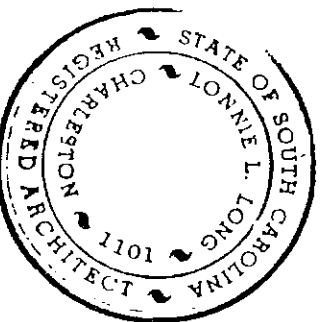


SCALE: 1/8" = 1'-0"

UNIT 302



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 S.C. Licensed Architect No. 1191
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CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST. CHARLESTON, S. C.



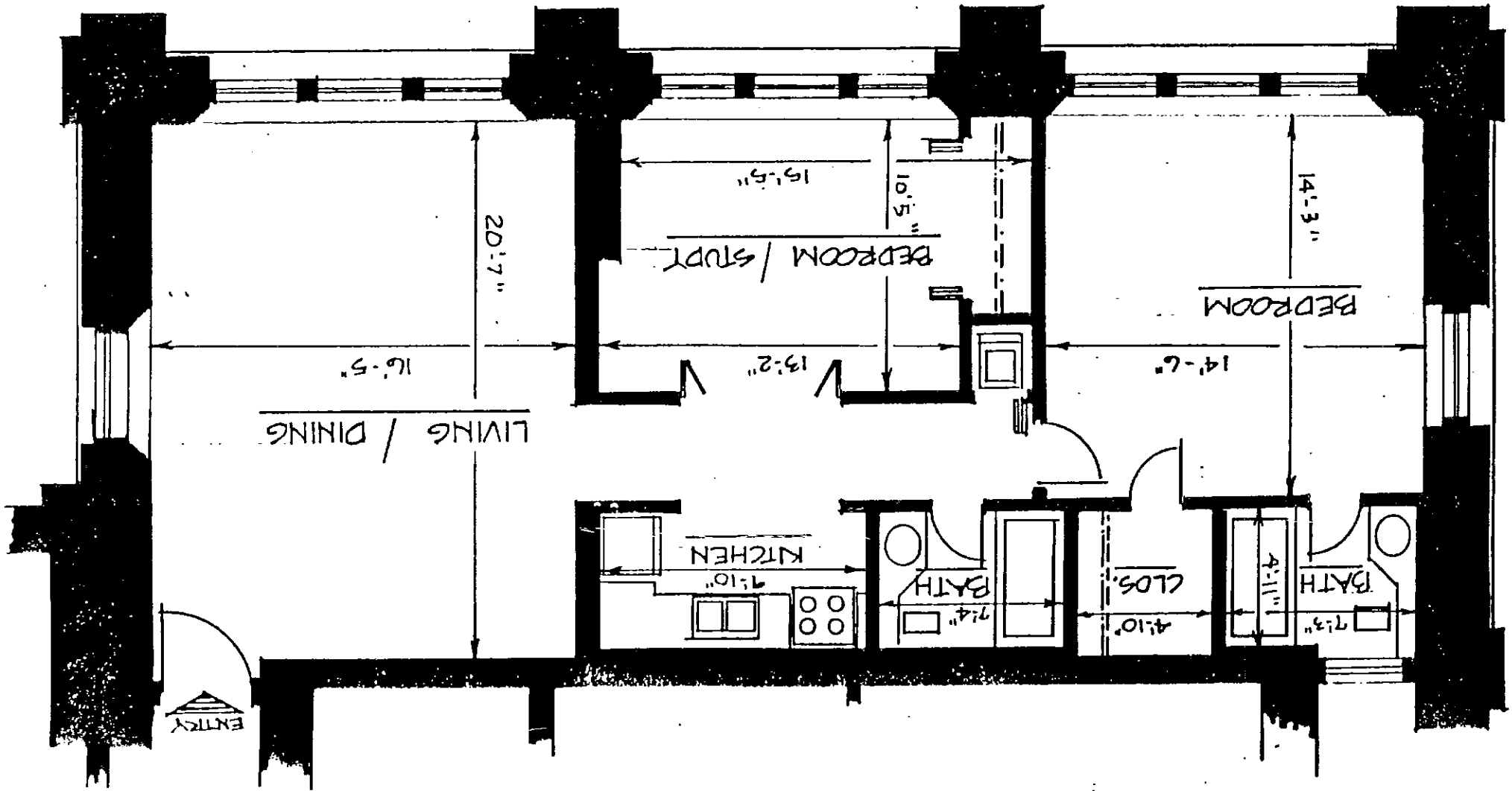
EXHIBIT "B"
 Sheet 1 of 2



CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST.
 CHARLESTON, S.C.

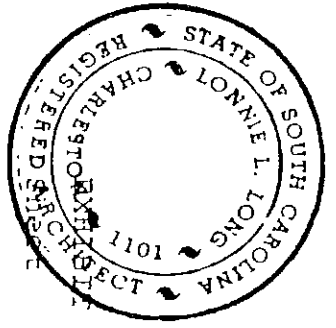
SCALE: 3/16" = 1'-0"

UNIT 304



BK S 155 PG 580

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 S.C. Licensed Architect NO. 1101
 Porch, Balcony, or Patio, if shown, is not within the Apartment Description.

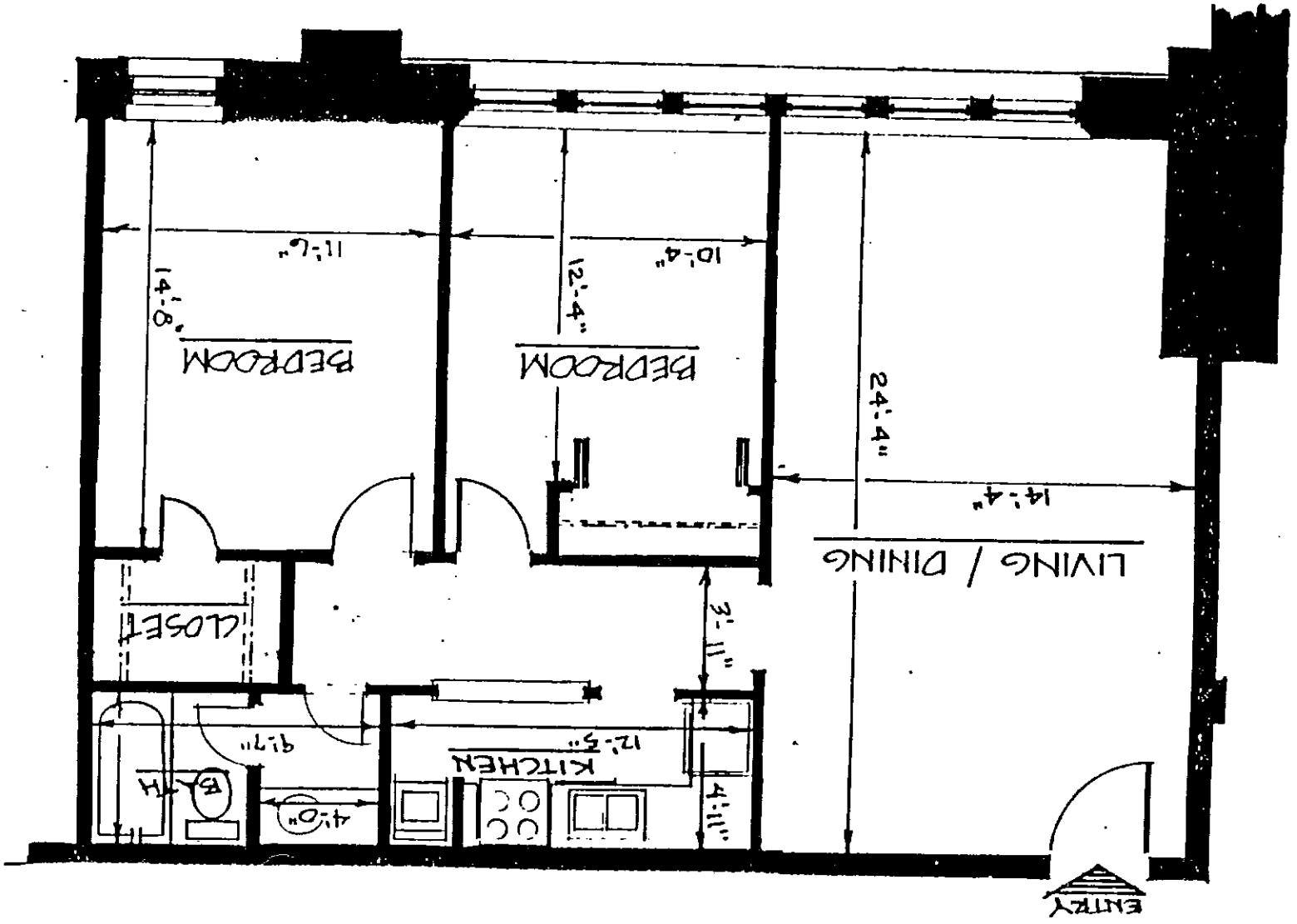


CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.



SCALE: 3/16" = 1'-0"

UNIT 305



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CERTIFIED BY: [Signature] (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.

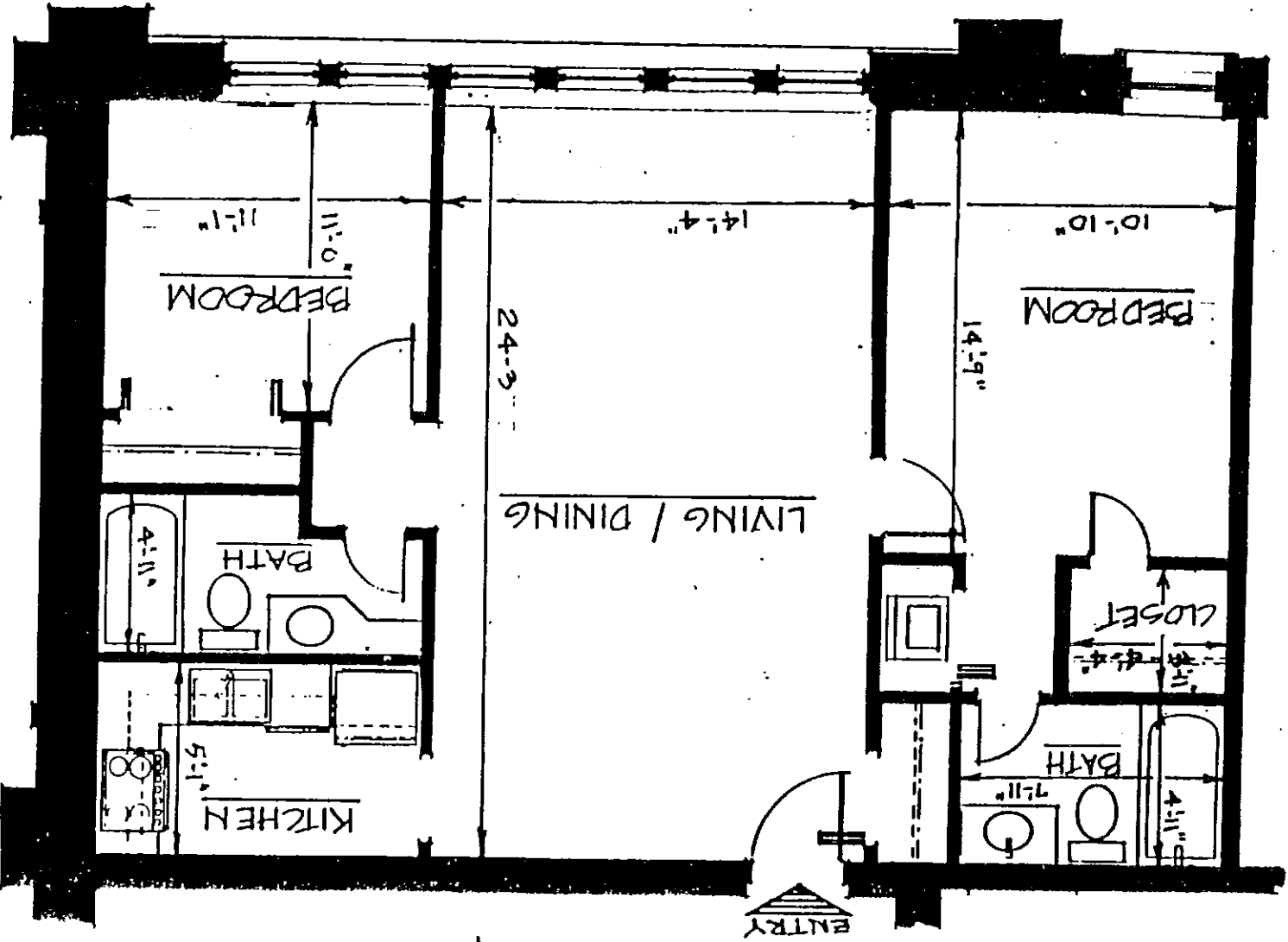


CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.



SCALE: 3/16" = 1'-0"

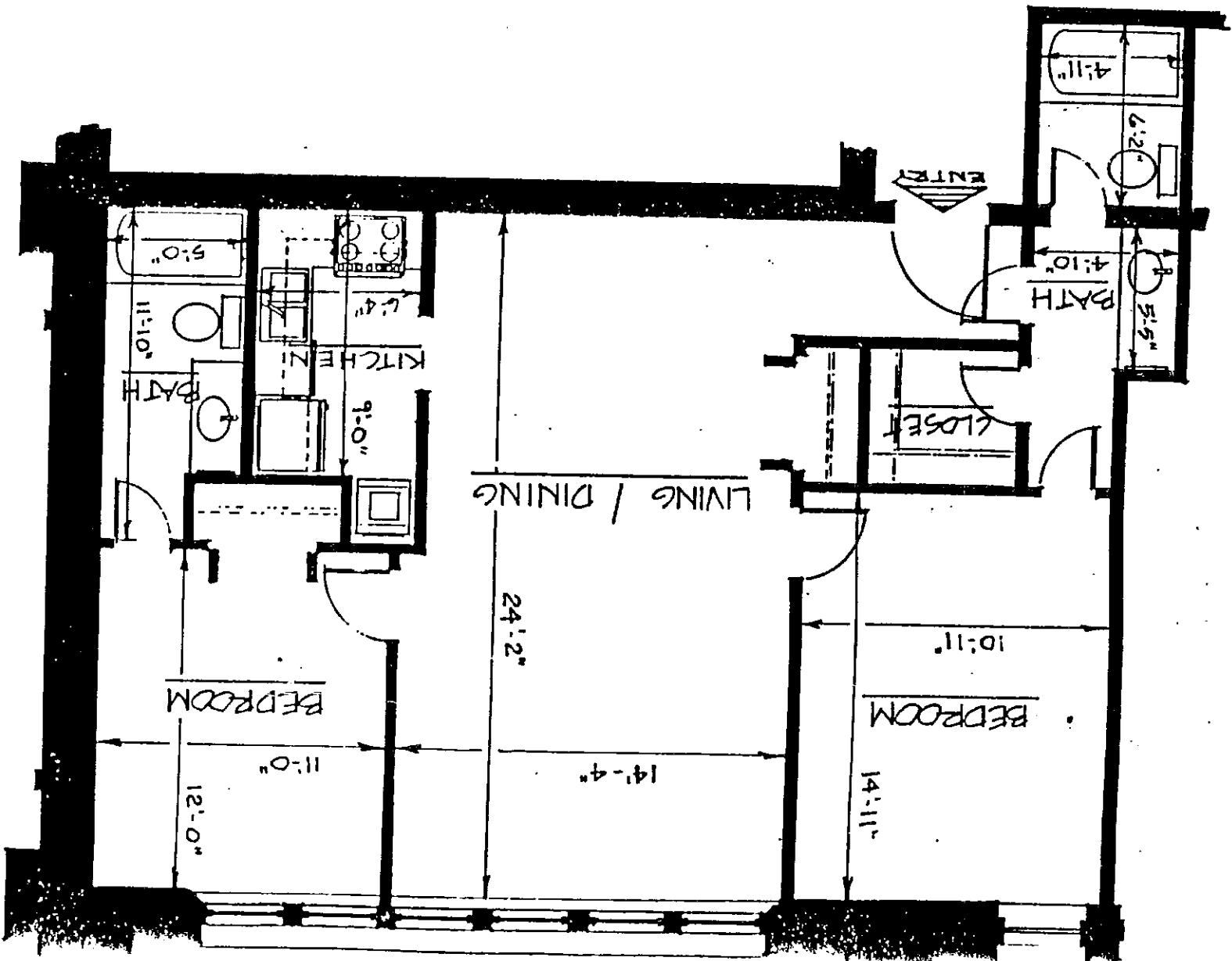
UNIT 306



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CERTIFIED BY: [Signature] (Seal)
S.C. Licensed Architect No. 1101
Porch, Balcony, or Patio, if shown,
is not within the Apartment Description.



BK S 155PG583



UNIT 307

SCALE: 3/16" = 1'-0"

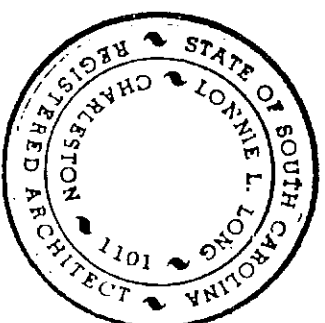
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.

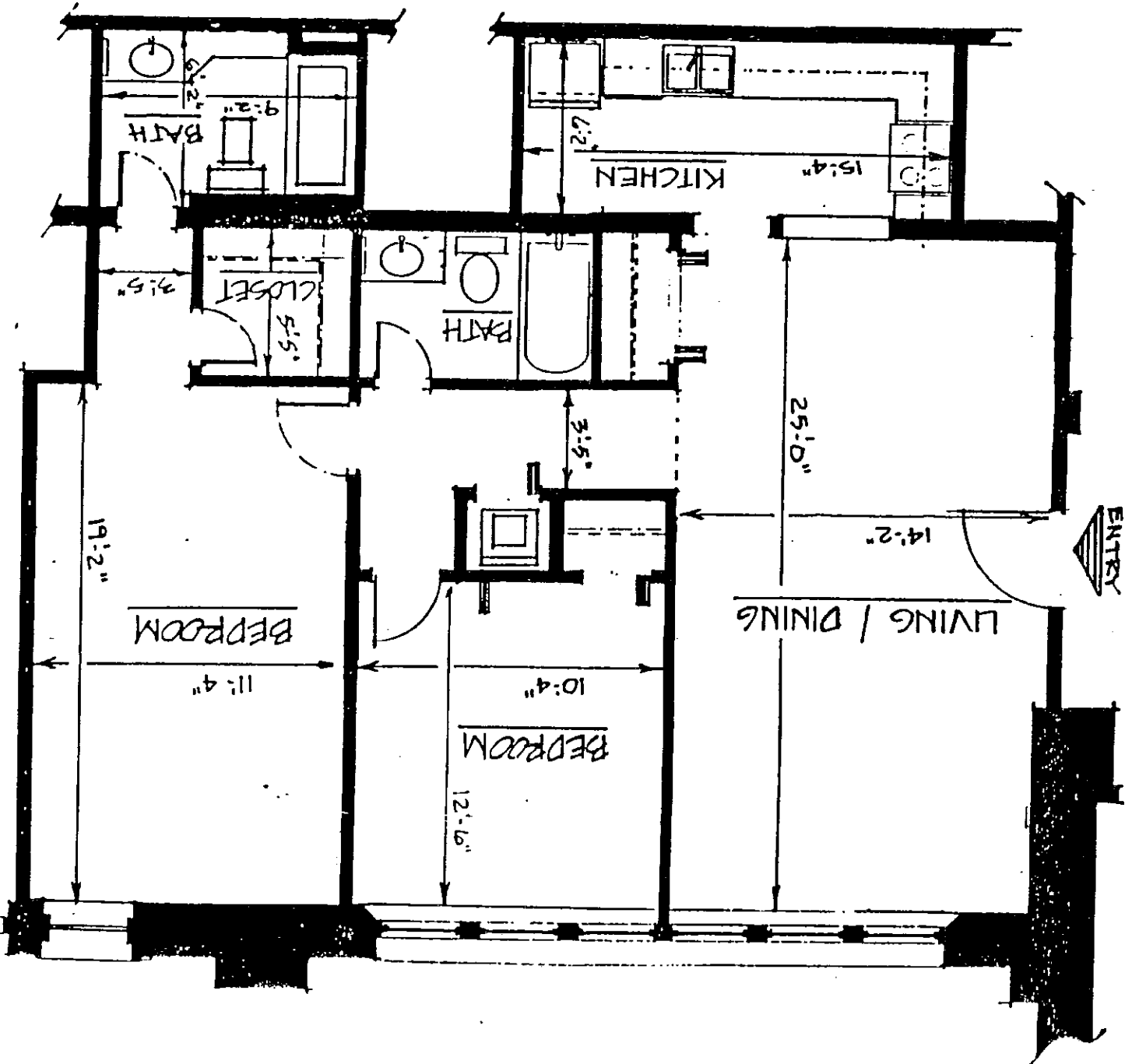


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CERTIFIED BY: *[Signature]* (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.





UNIT 308

SCALE: 3/16" = 1'-0"

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CERTIFIED BY: *[Signature]* (Seal)
 S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



CRAFTS HOUSE
 A 50 UNIT CONDOMINIUM DEVELOPMENT
 07 LEGARE ST. CHARLESTON, S. C.

S&W
 STEVENS & WILKINSON, INC.
 EXHIBIT "B"
 Sheet

BK S 155 PG 585

Framing in this Unit not completed
as of 11/14/85. Dimensions based
on Contract Documents.

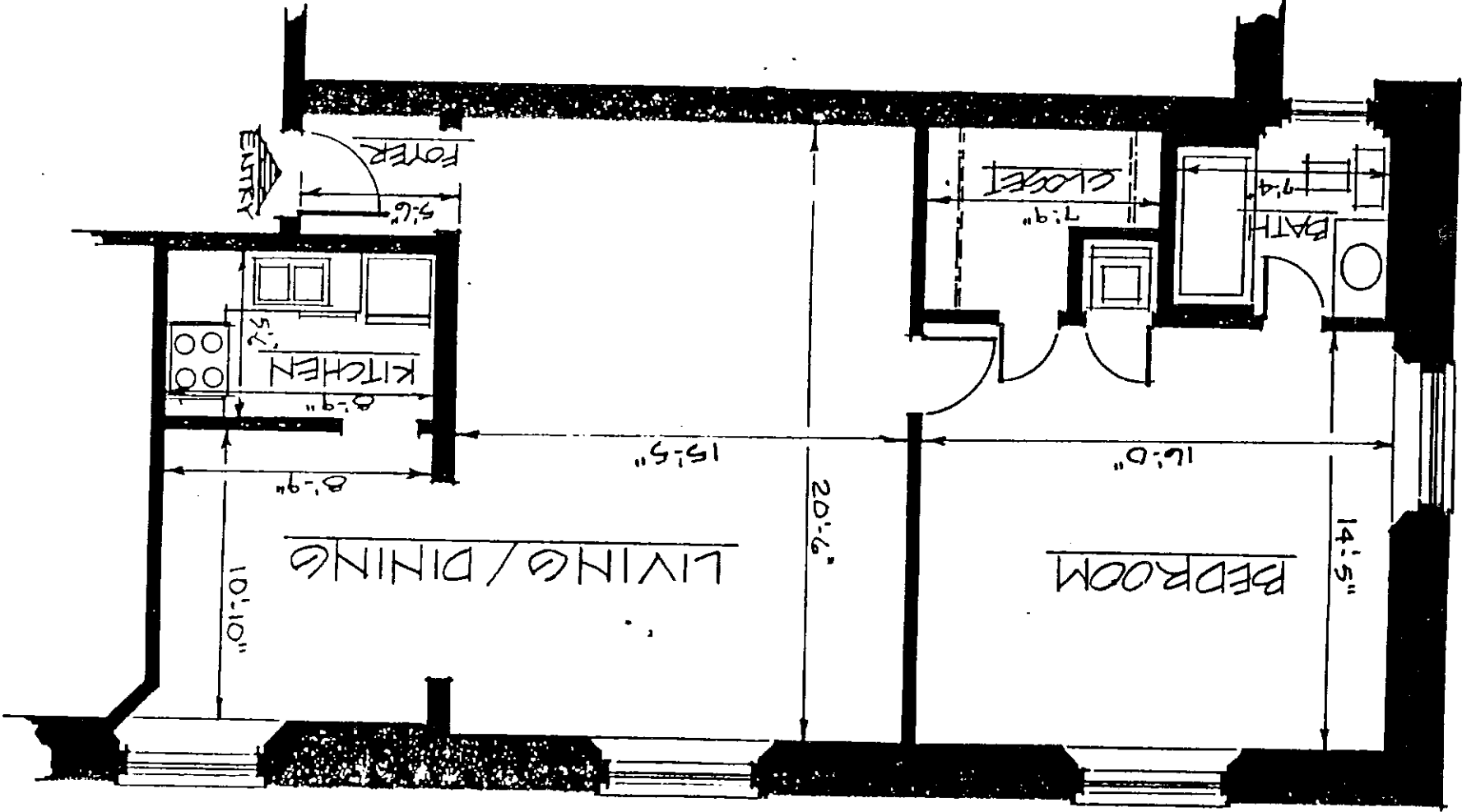
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST.
CHARLESTON, S. C.



STEVENS & WILKINSON, INC.

SCALE: 3/16" = 1'-0"

UNIT 401



This Sheet drawn to scale but
reduced in reproduction.

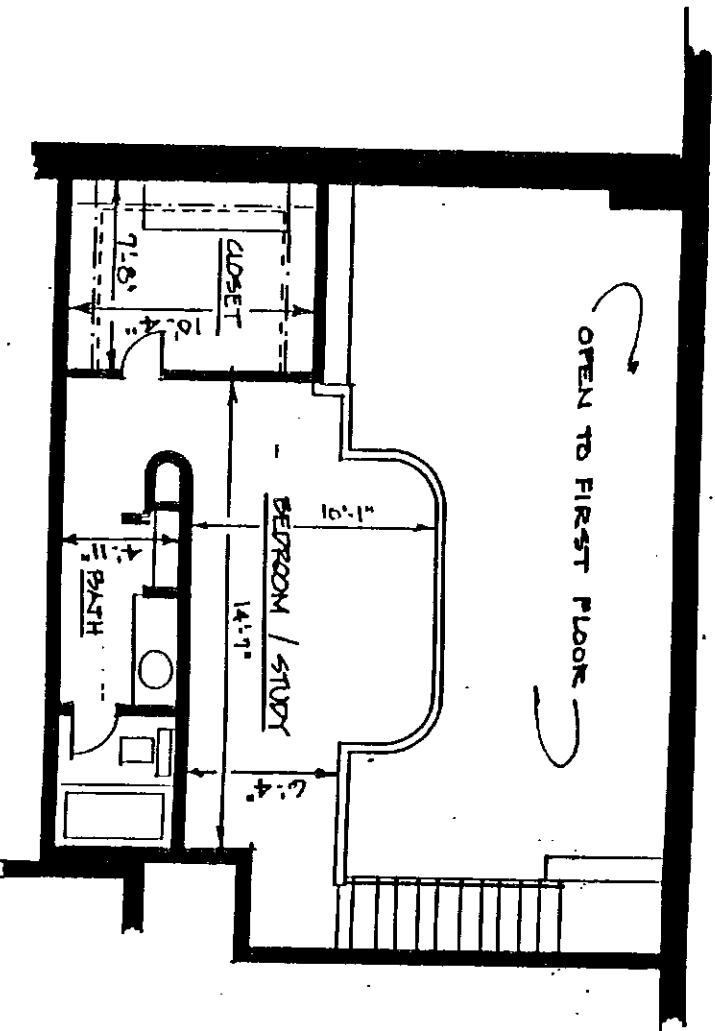
CERTIFIED BY: *[Signature]* (Seal)
S.C. Licensed Architect No. 1101

Porch, Balcony, or Patio, if shown,
is not within the Apartment Description.



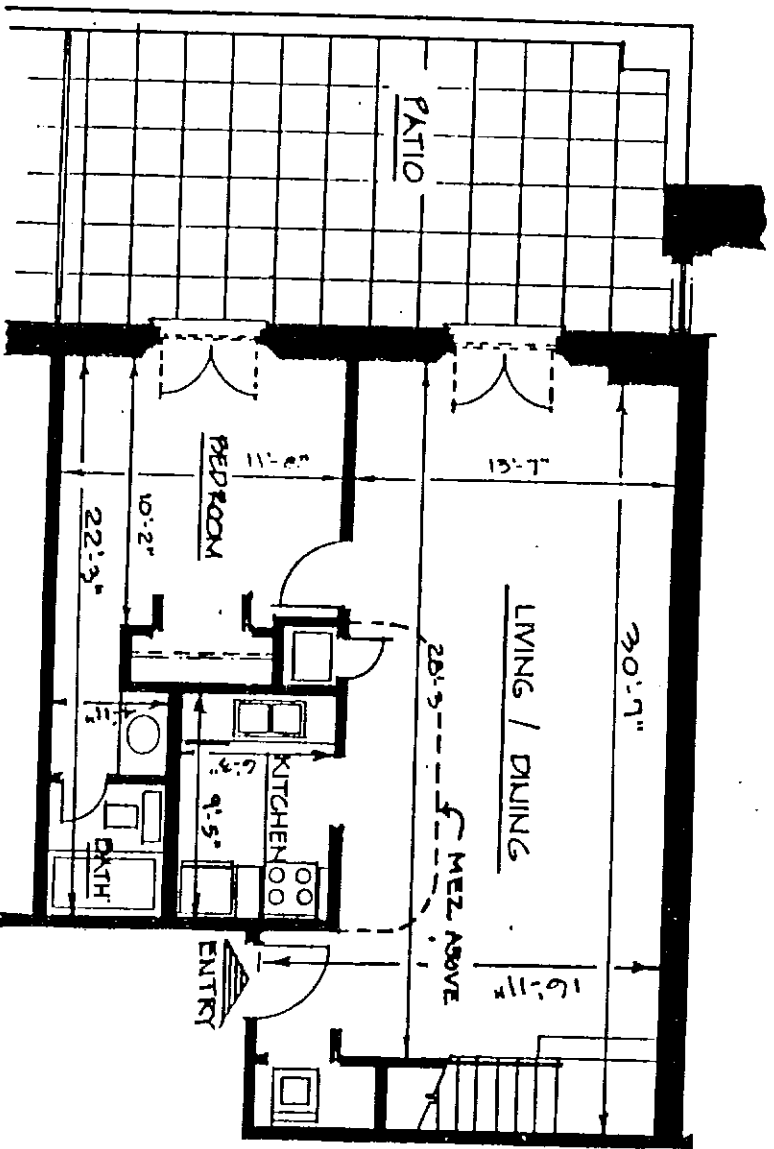
EXHIBIT "B"

Sheet 4 of 4



UNIT 402 MEZ.

Framing in this unit not completed as of 11/14/85. Dimensions based on Contract Documents.



UNIT 402

SCALE: 1/8" = 1'-0"

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CERTIFIED BY: *Lonnie L. Long* (Seal)
S.C. Licensed Architect No. 1101

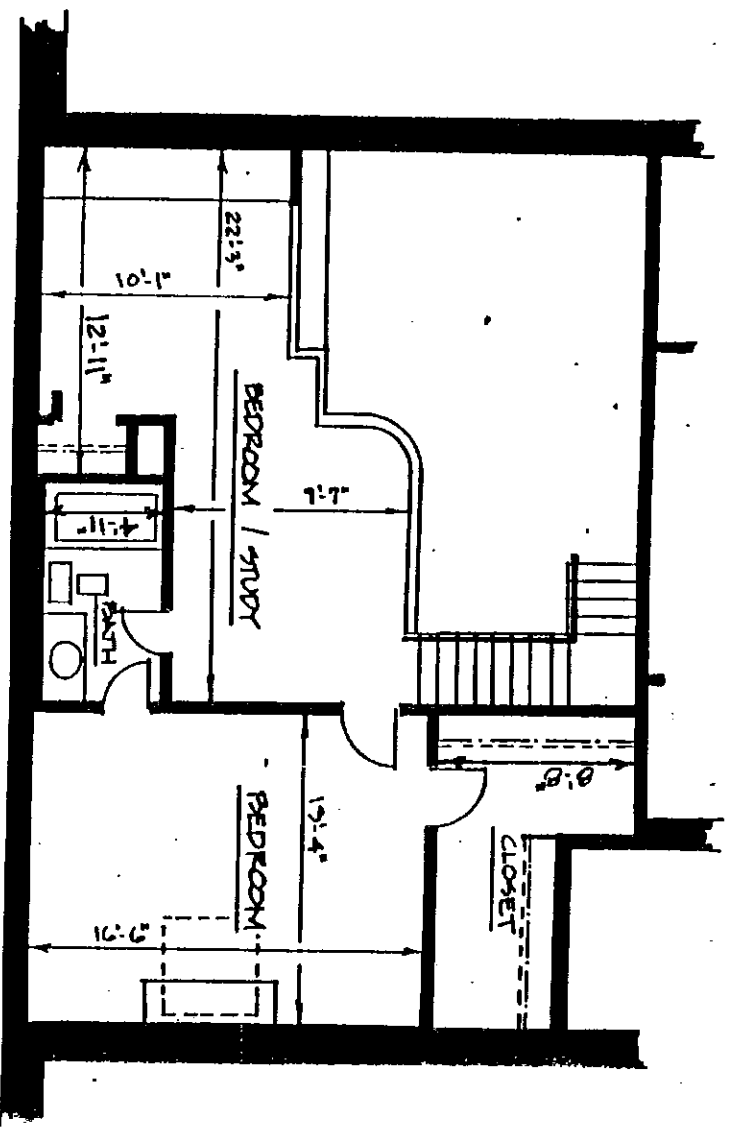
Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
67 LEGARE ST. CHARLESTON, S. C.

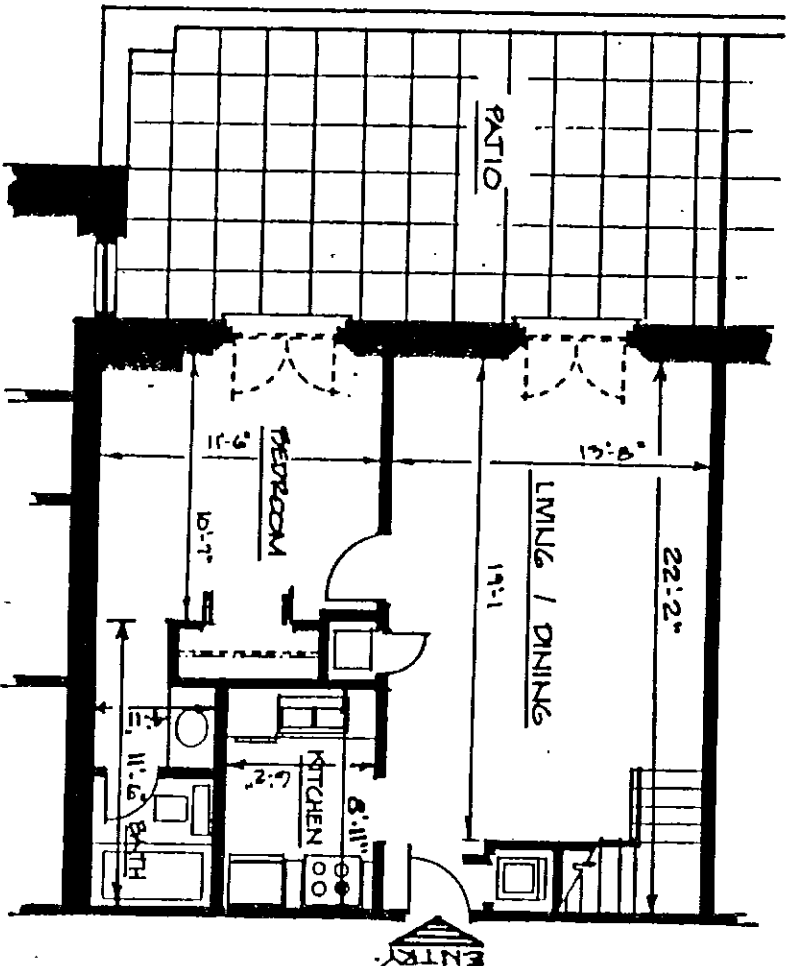


STEVENS & WILKINSON, INC. EXHIBIT "3"
Sheet 3 OF 3



Framing in this Unit not completed as of 11/14/85. Dimensions based on Contract Documents.

UNIT 403 MEZ.



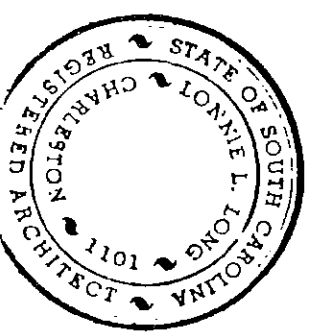
UNIT 403

SCALE: 1/8" = 1'-0"

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CERTIFIED BY: *[Signature]* (Seal)
S.C. Licensed Architect No. 1161

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



CRAFTS HOUSE
A 50 UNIT CONDOMINIUM DEVELOPMENT
87 LEGARE ST. CHARLESTON, S. C.



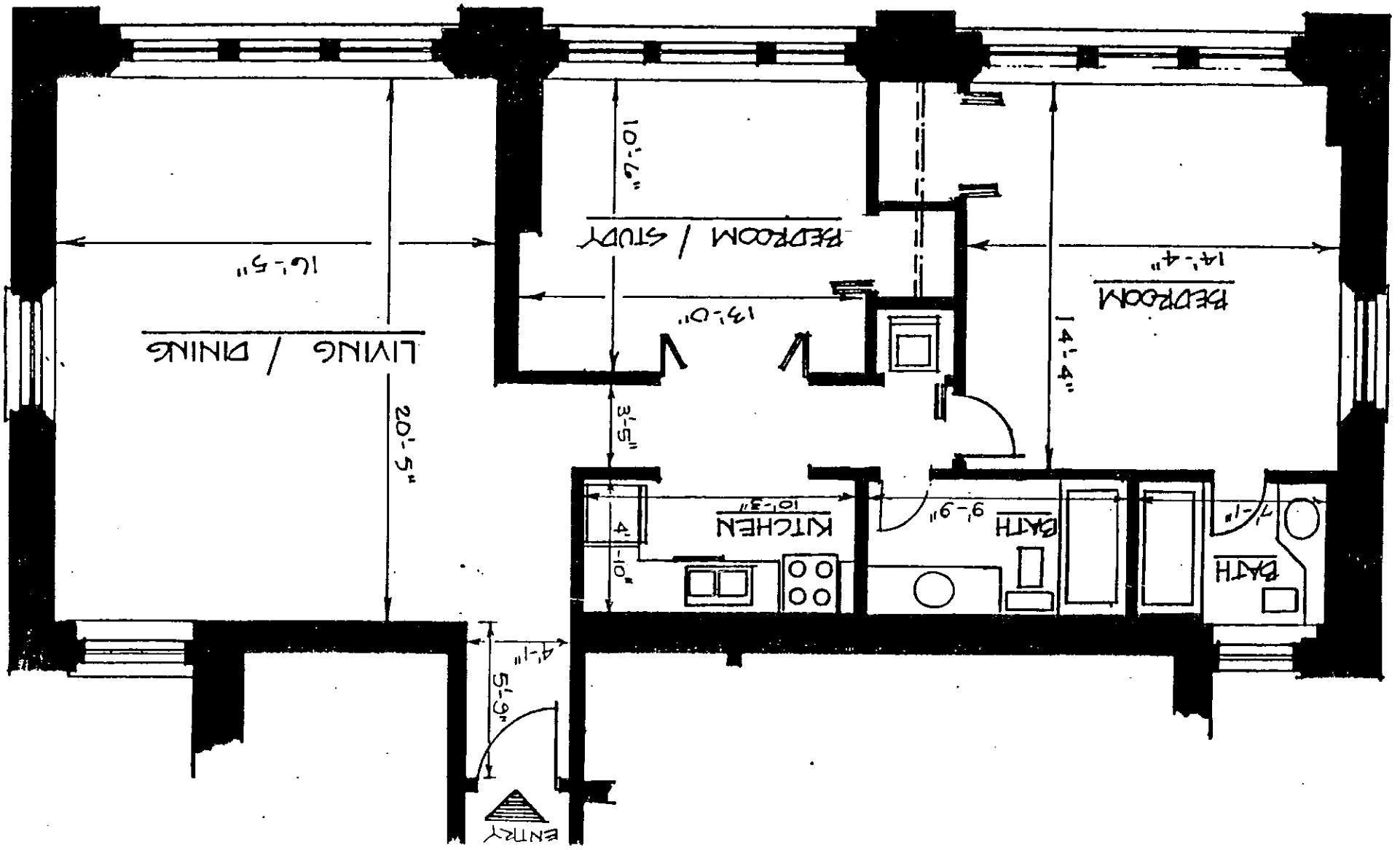
CRAFTS HOUSE
A 30 UNIT CONDOMINIUM DEVELOPMENT
67 LEGARE ST. CHARLESTON, S. C.



Framing in this Unit not completed
as of 11/14/85. Dimensions based
on Contract Documents.

SCALE: 3/16" = 1'-0"

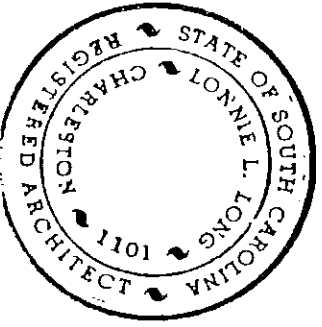
UNIT 404



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S.C. Licensed Architect No. 1191

Porch, Balcony, or Patio, if shown,
is not within the Apartment Description.

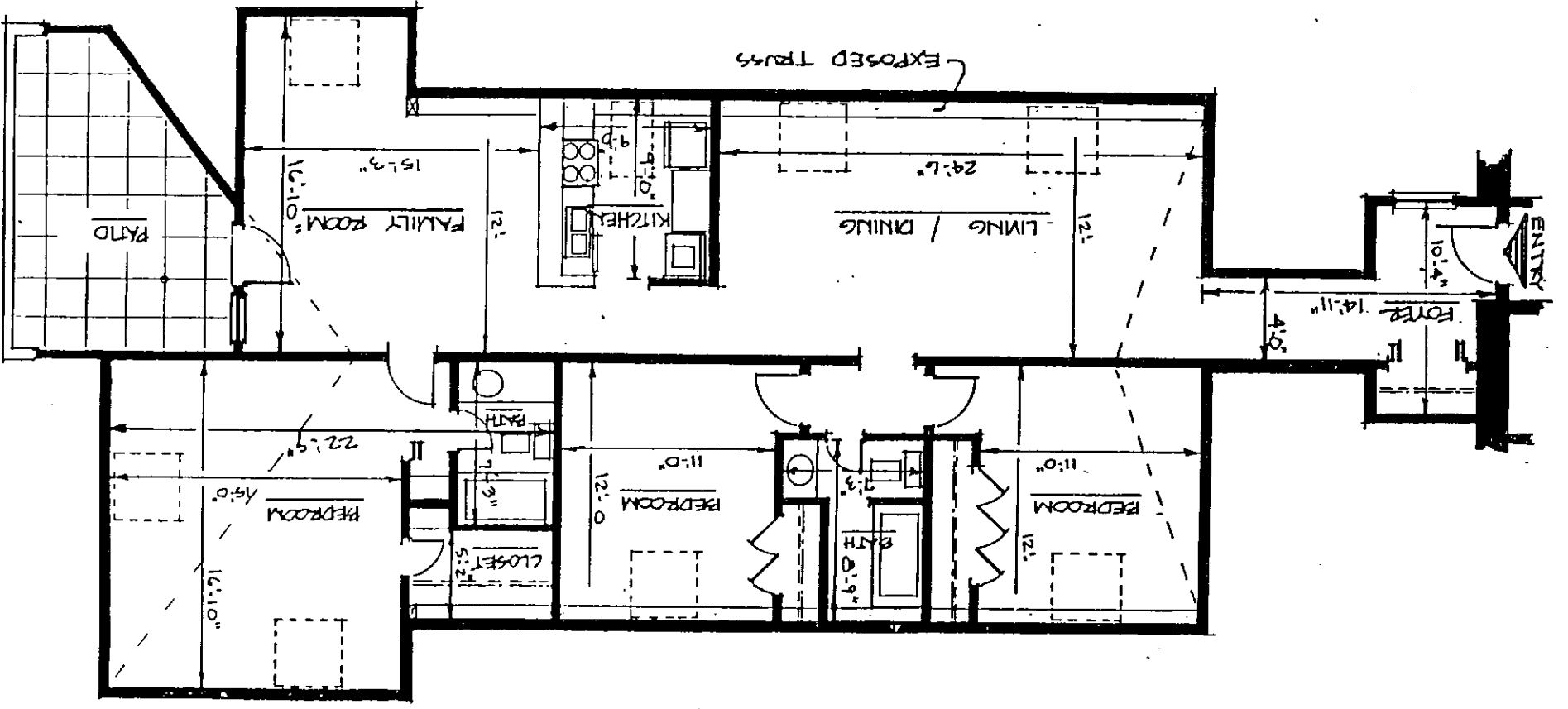


Framing in this Unit not completed as of 11/14/85. Dimensions based on Contract Documents.

CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 87 LEGARE ST. CHARLESTON, S. C.
 STEVENS & WILKINSON, INC.

SCALE: 1/8" = 1'-0"

UNIT 408



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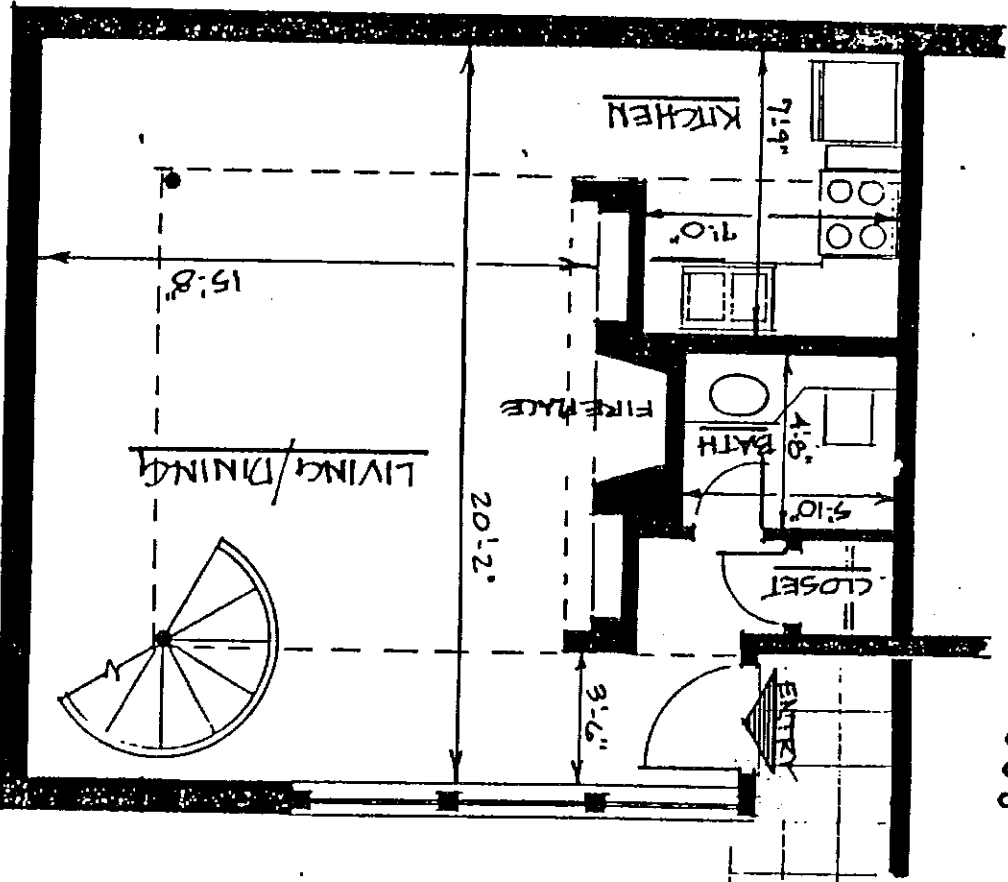
CERTIFIED BY: [Signature] (Seal)
 S.C. Licensed Architect NO. 1101

Porch, Balcony, or Patio, if shown, is not within the Apartment Description.



EXHIBIT "B"
 Sheet

BK S 155 PG 59-0

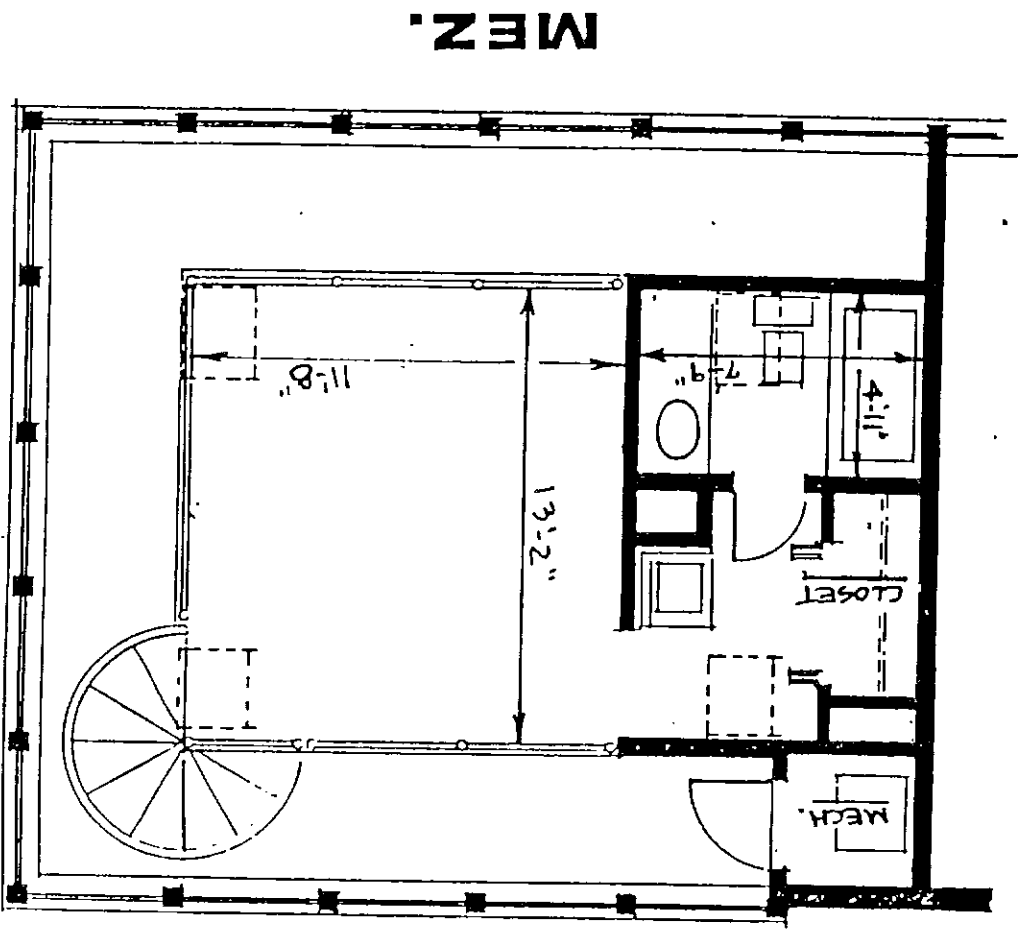


UNIT C01

CARRIAGE HOUSE

SCALE: 3/16" 1'-0"

Framing in this Unit not completed as of 11/14/85. Dimensions based on Contract Documents.



MEZ.

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 S.C. Licensed Architect No. 1101 (Seal)
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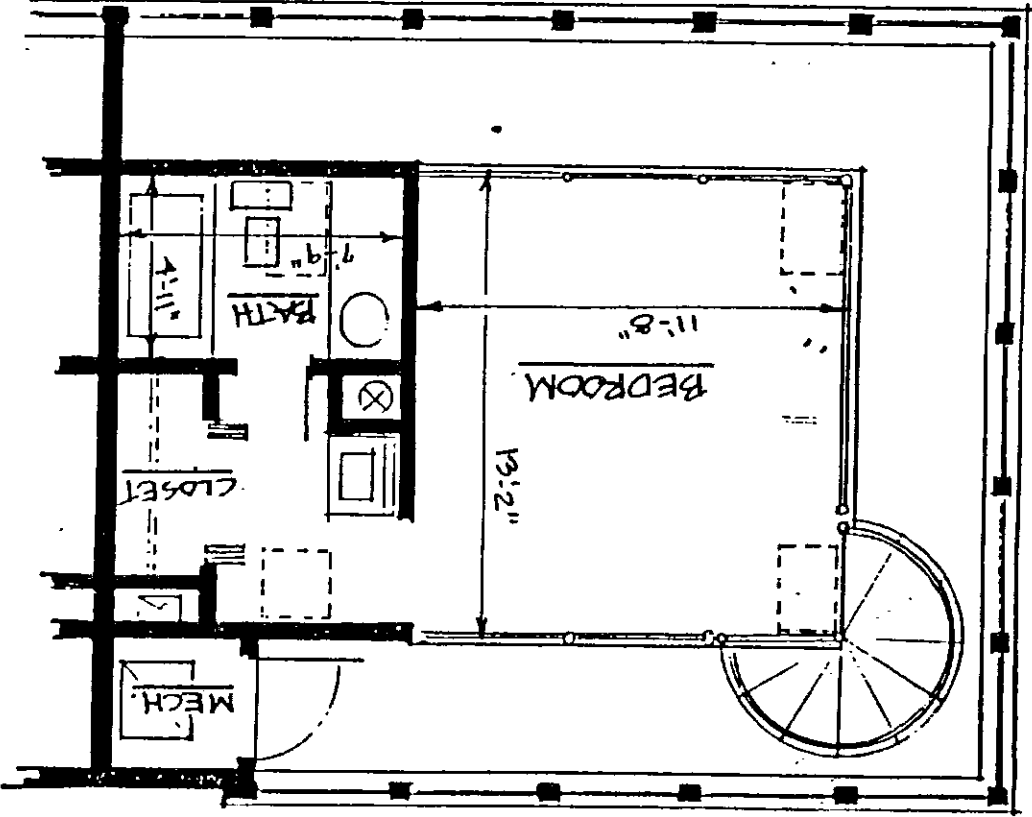


CRAFTS HOUSE
 A 30 UNIT CONDOMINIUM DEVELOPMENT
 67 LEGARE ST.
 CHARLESTON, S. C.

S&W
 STEVENS & WILKINSON, INC.

EXHIBIT "B"
 Sheet 4 of 4

BK S 155 PG 591



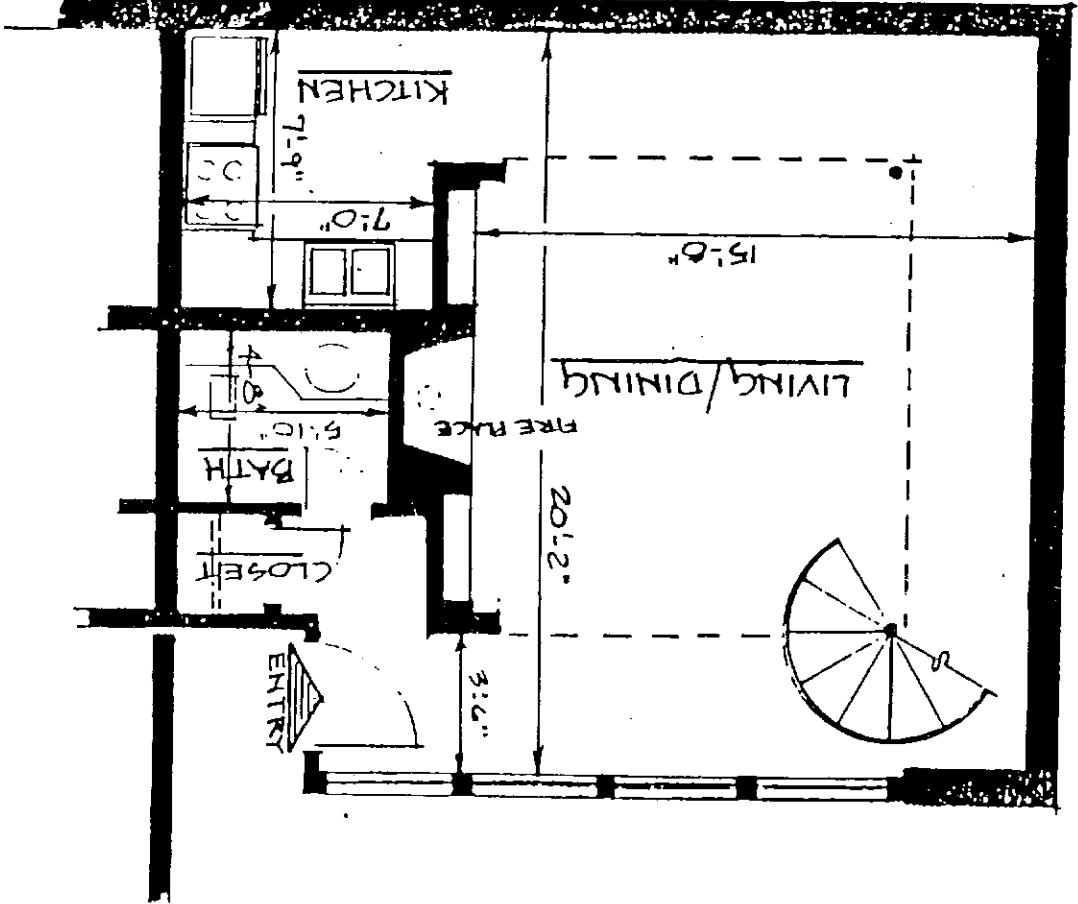
MEZ.

CARRIAGE HOUSE

SCALE: 3/16" = 1'-0"

Framing in this Unit not completed as of 11/14/85. Dimensions based on Contract Documents.

UNIT 102



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S.C. Licensed Architect No. 1101 (Seal)

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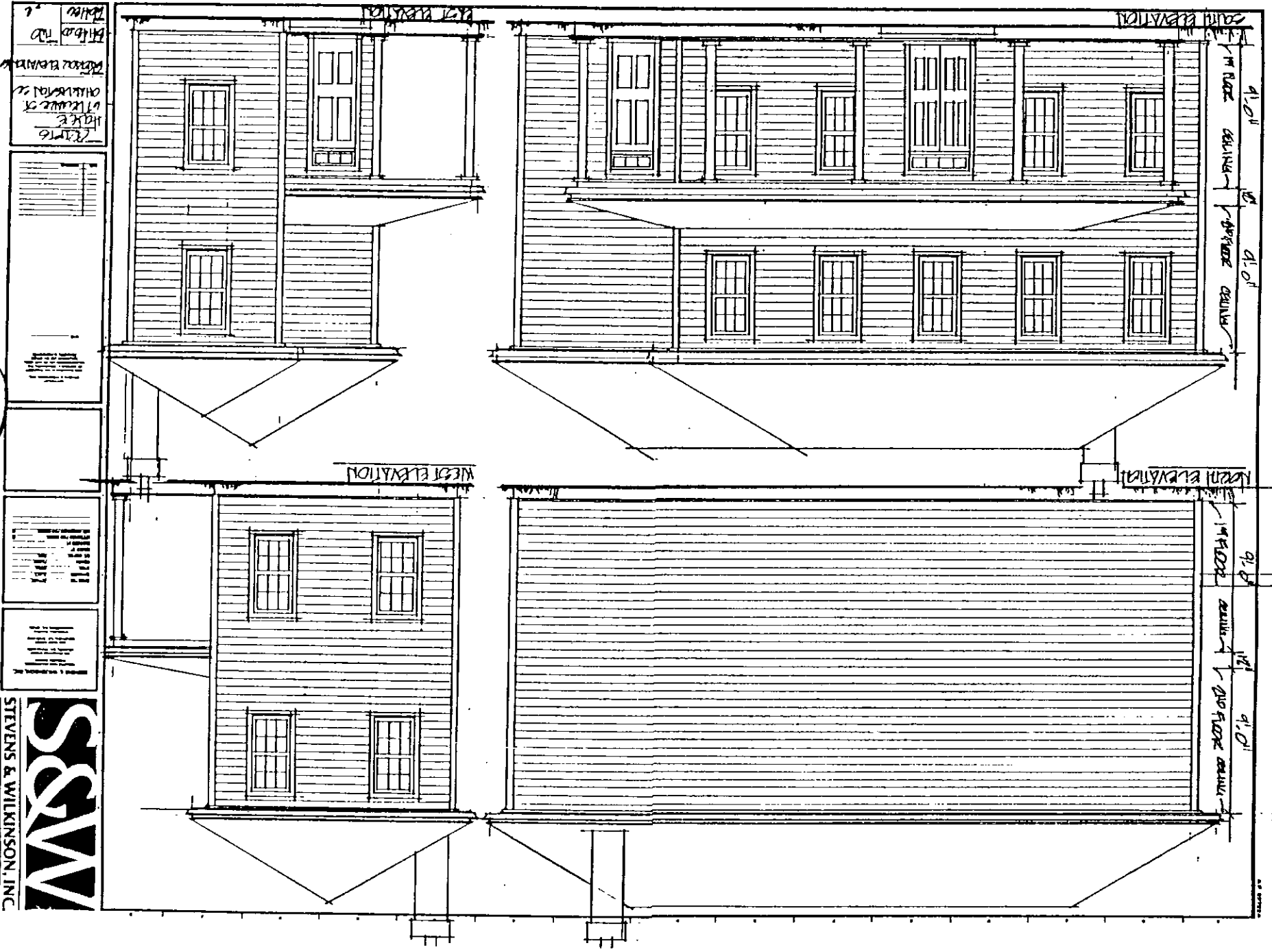
CRAFTS HOUSE

A 30 UNIT CONDOMINIUM DEVELOPMENT
67 LEGARE ST.
CHARLESTON, S.C.



EXHIBIT "B"
Sheet 4 of 5

STEVENS & WILKINSON, INC.



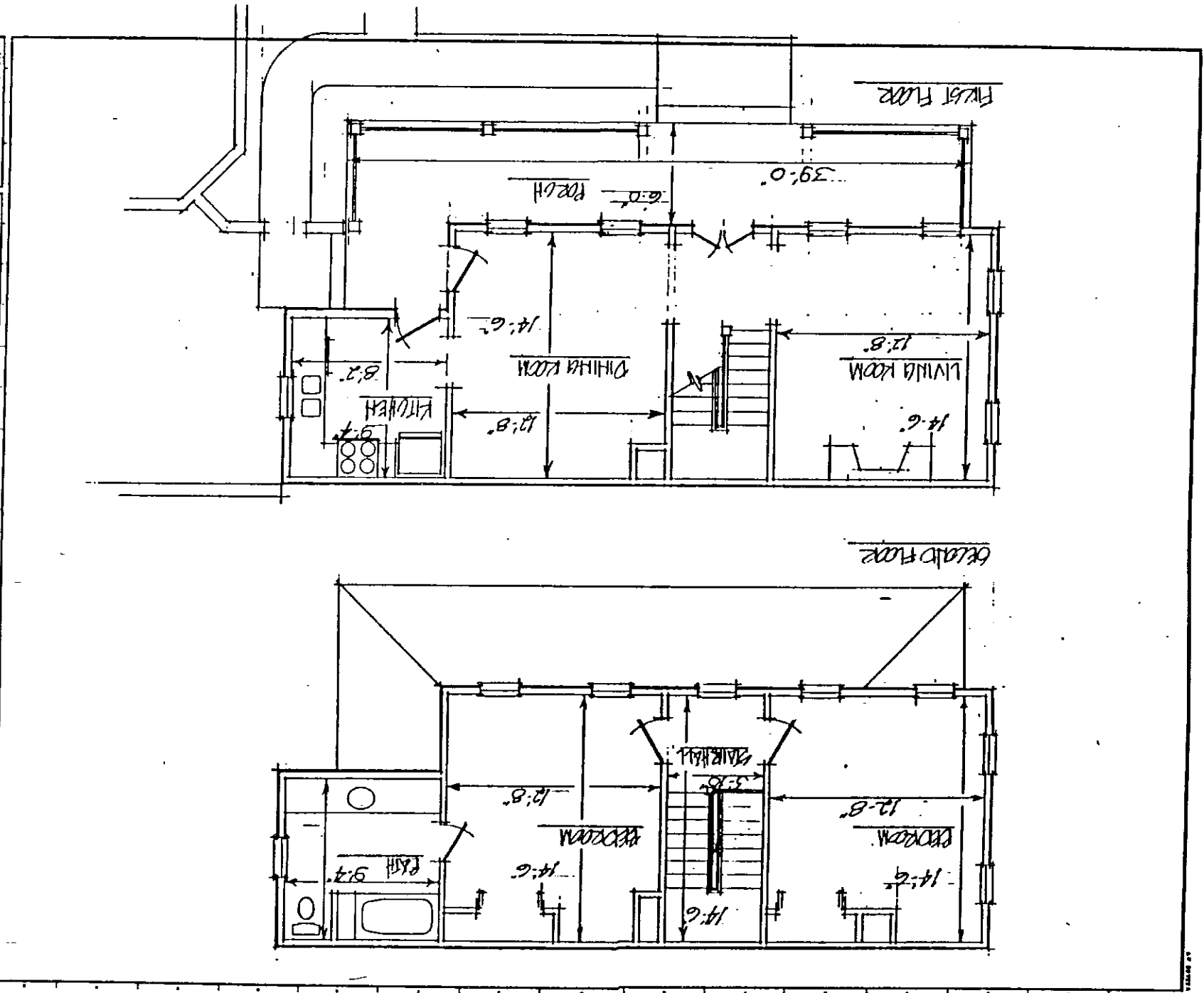
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EXHIBIT "E"

Sheet

50 OF 3



2/1/72
 1101
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