

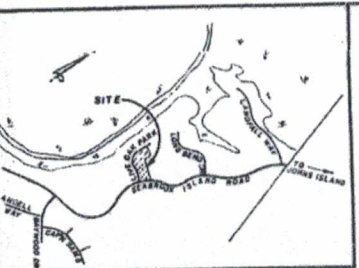
## Courtside Villas Satellite Dishes

Per the governing documents of CVI, the exterior walls are all Common Property, and no alterations may be made without the consent of the CVI board and SIPOA.

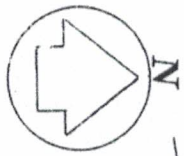
- a. Prior approval must be granted to install a satellite dish. The villa's owner must first complete and submit the request for exterior modification to the CVI board and the SIPOA ARC and receive written approval from both parties for the satellite dish installation. **No satellite dishes are to be mounted on the exterior of any building in Courtside Villas I.**
- b. All satellite dishes must be mounted on the regulation pole provided by the satellite dish installer, at the location designated by the CVI Board, on the provided site map. CVI has designated sites in conjunction with the satellite dish installation companies. These sites comply with the SIPOA dish installation standards and allow for clear dish reception.
- c. The dish pole mount cannot be visible from the road. If the only clear reception area for the mount is visible it must be concealed by plantings or some other means to conceal it from view.
- d. The dish must be mounted on a regulation installation pole provided by a licensed, certified dish installer. (All Dish installation companies provide these poles.) The regulation pole specifications: 6ft. long, 1-3/8" in diameter, galvanized steel, pole. 3ft. of the pole will be bored into the ground to provide proper support for the maximum pole mount height which is no higher than 3ft. (36 inches) tall.
- e. All wiring to the installing owners' residence must be hidden from view of the exterior of the buildings and secured to the underside tightly secured and without any loose or hanging wires.
- f. In the event of discontinuing service or sale of the villa, the selling owner is responsible for the removal and disposal of the satellite dish. If the dish remains after transfer it is the property of the new villas owner and will be their responsibility to register the dish as active with the CVI board or remove and dispose of the dish at their expense within 30 days of possession of the villa.
- g. Any damage to the buildings or common property of CVI caused by satellite dish installation or the contractor will be remediated at the expense of the villa owner.
- h. Failure to follow these instructions will result in the dish owner being notified that they must have the dish removed and/or re-installed properly at their own expense. If not remedied in 30 days from this notice, the owner will be fined per the fines schedule listed in the CVI Rules and Regulations Section 13. Unpaid fines will accrue late fees per the assessment schedule and if unpaid at a 90-day period may result in a lien being placed on the property per the CVI Rules and Regulation and the Master Deed.
- i. The CVI regime reserves the right to remove any illegally or improperly installed satellite dish from the common property at the owner's expense. Per the Master Deed.

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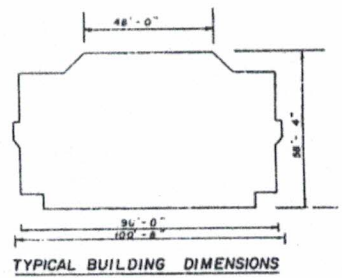
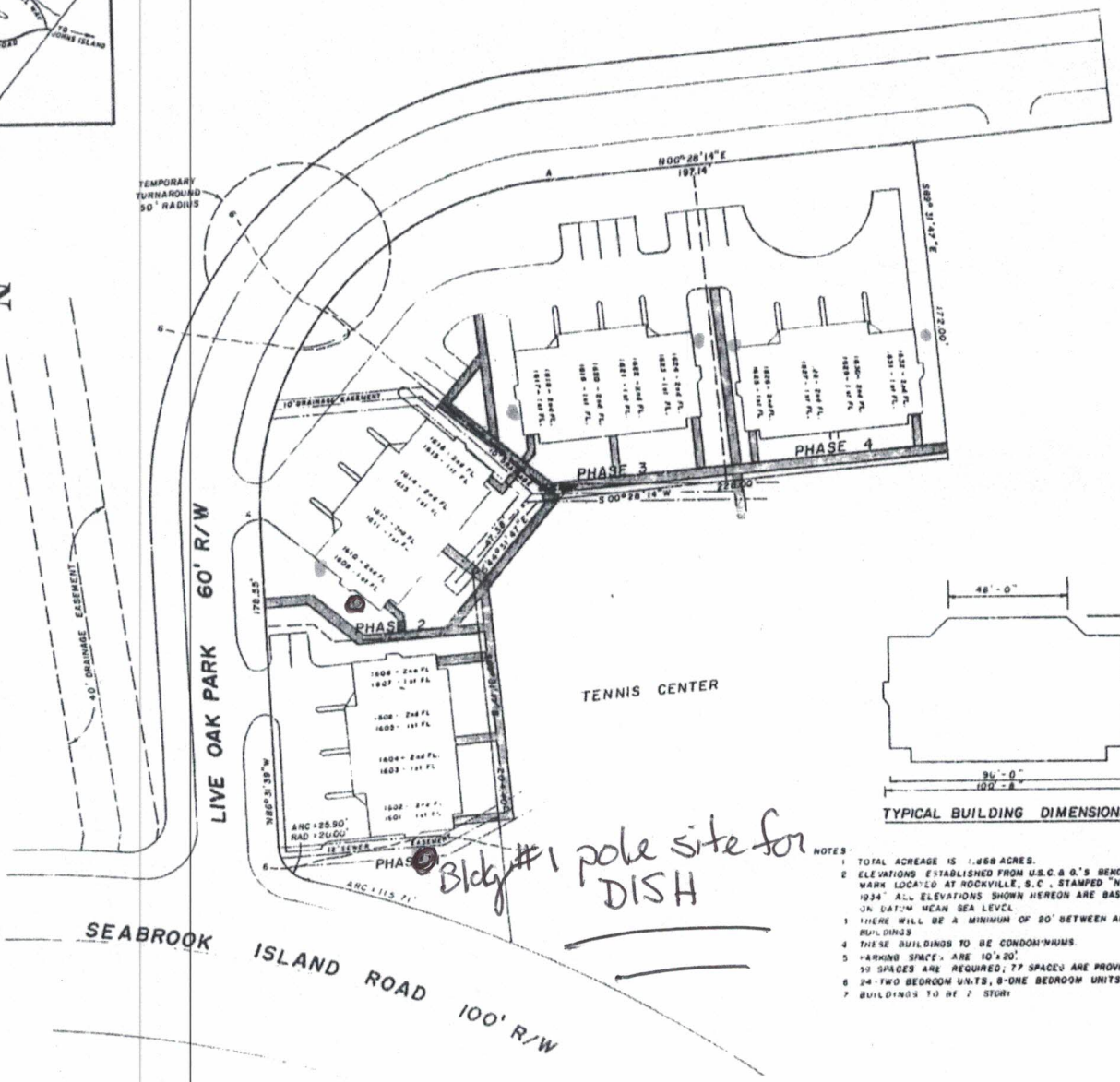
EXHIBIT D



LOCATION MAP



SEABROOK ISLAND COMPANY



TYPICAL BUILDING DIMENSIONS

*Bldg #1 pole site for DISH*

- NOTES:
- 1 TOTAL ACREAGE IS 1.488 ACRES.
  - 2 ELEVATIONS ESTABLISHED FROM U.S.C. & G.S. BENCH MARK LOCATED AT ROCKVILLE, S.C. STAMPED "NO 4 1934". ALL ELEVATIONS SHOWN HEREON ARE BASED ON DATUM MEAN SEA LEVEL.
  - 3 THERE WILL BE A MINIMUM OF 50' BETWEEN ALL BUILDINGS.
  - 4 THESE BUILDINGS TO BE CONDOMINIUMS.
  - 5 PARKING SPACES ARE 10'x20'.
  - 6 50 SPACES ARE REQUIRED; 77 SPACES ARE PROVIDED.
  - 7 24 TWO BEDROOM UNITS, 8 ONE BEDROOM UNITS BUILDINGS TO BE 2 STORY.

**F**

# SEABROOK ISLAND (SEABROOK ISLAND) I HORIZONTAL PROPERTY REGIME CHARLESTON COUNTY, S.C.

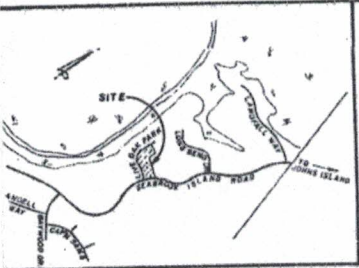
PROPOSED MASTER PLOT PLAN - COURTSIDE VILLAS  
SCALE: 1" = 40'                      MAY 31, 1982

EXHIBIT D

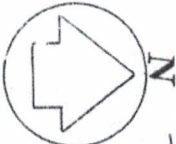
E.M. SEABROOK, JR., INC.

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EXHIBIT D

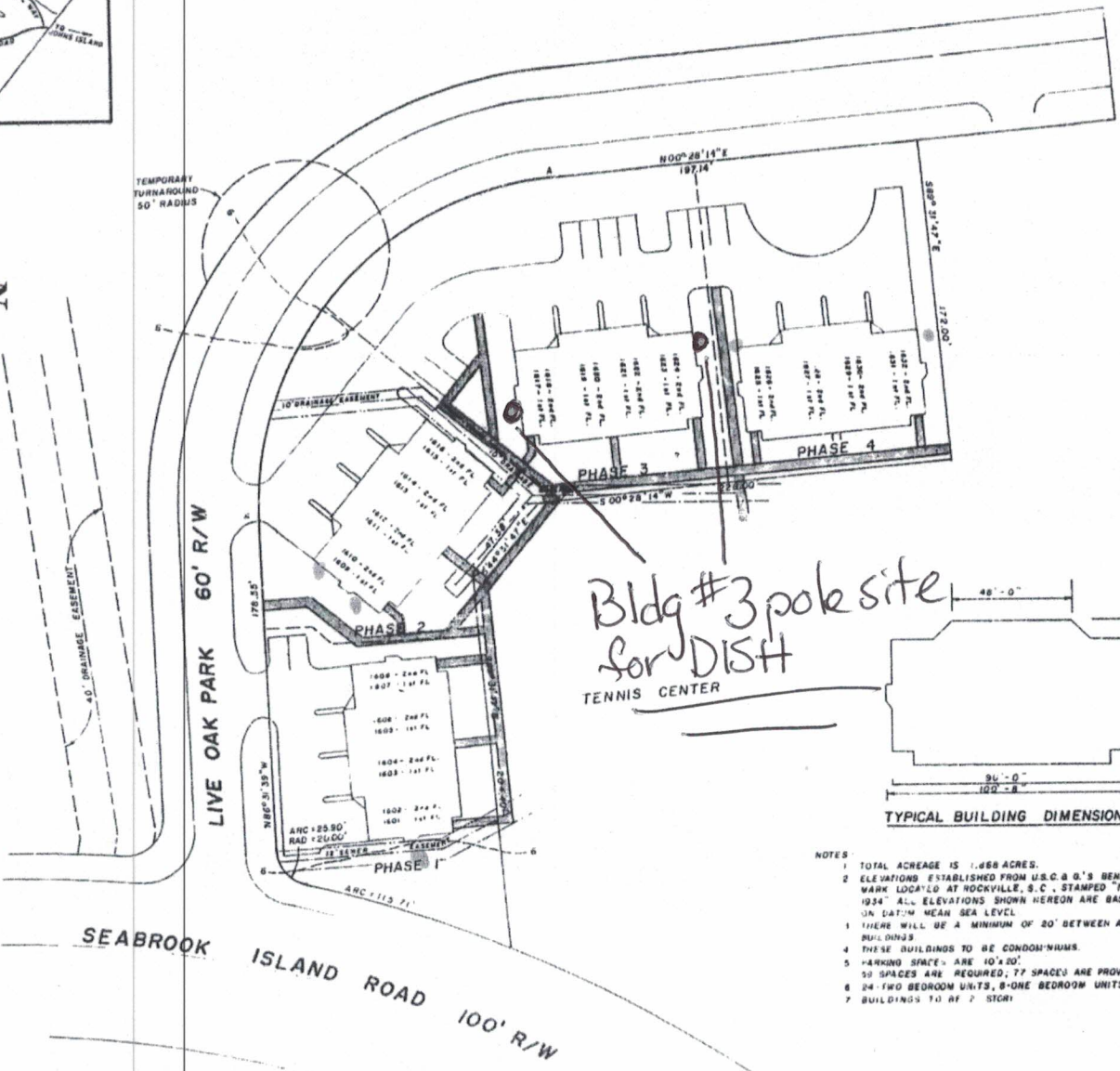


LOCATION MAP

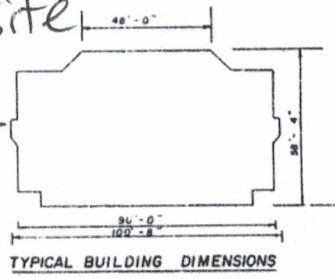


SEABROOK ISLAND COMPANY

TEMPORARY TURNAROUND 50' RADIUS



Bldg #3 pole site for DISH



- NOTES
- 1 TOTAL ACREAGE IS 1.688 ACRES.
  - 2 ELEVATIONS ESTABLISHED FROM U.S.C. & G.'S BENCH MARK LOCATED AT ROCKVILLE, S.C. STAMPED "NO 4 1934" ALL ELEVATIONS SHOWN HEREON ARE BASED ON DATUM MEAN SEA LEVEL
  - 3 THERE WILL BE A MINIMUM OF 20' BETWEEN ALL BUILDINGS
  - 4 THESE BUILDINGS TO BE CONDOMINIUMS.
  - 5 PARKING SPACES ARE 10'x20'.
  - 6 24 TWO BEDROOM UNITS, 8 ONE BEDROOM UNITS
  - 7 BUILDINGS TO BE 2 STORY

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SEABROOK ISLAND (SEABROOK ISLAND) I HORIZONTAL PROPERTY REGIME  
 CHARLESTON COUNTY, S.C.

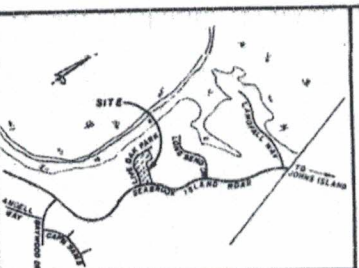
PROPOSED MASTER PLOT PLAN - COURTSIDE VILLAS  
 SCALE: 1" = 40' MAY 31, 1982

EXHIBIT D

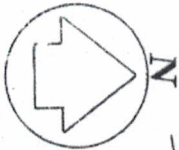


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EXHIBIT D



LOCATION MAP



SEABROOK ISLAND COMPANY



\* Bldg #4 Pole Site S for DISH

TYPICAL BUILDING DIMENSIONS

- NOTES
- 1 TOTAL ACREAGE IS 1.468 ACRES.
  - 2 ELEVATIONS ESTABLISHED FROM U.S.C. & G.'S BENCH MARK LOCATED AT ROCKVILLE, S.C. STAMPED "NO. 4 1934". ALL ELEVATIONS SHOWN HEREON ARE BASED ON DATUM NEAR SEA LEVEL.
  - 3 THERE WILL BE A MINIMUM OF 20' BETWEEN ALL BUILDINGS.
  - 4 THESE BUILDINGS TO BE CONDOMINIUMS.
  - 5 PARKING SPACES ARE 10'x20'. 50 SPACES ARE REQUIRED; 77 SPACES ARE PROVIDED.
  - 6 24 TWO BEDROOM UNITS, 8 ONE BEDROOM UNITS.
  - 7 BUILDINGS TO BE 2 STORY.

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# SEABROOK ISLAND (Seabrook Island) I HORIZONTAL PROPERTY REGIME

CHARLESTON COUNTY, S.C.

PROPOSED MASTER PLOT PLAN - COURTSIDE VILLAS

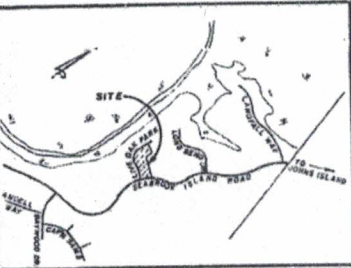
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MAY 31, 1982

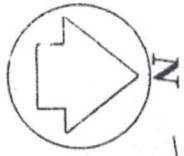
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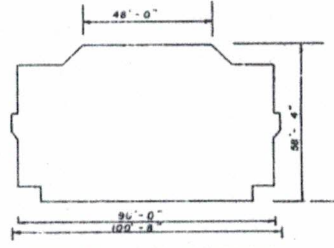
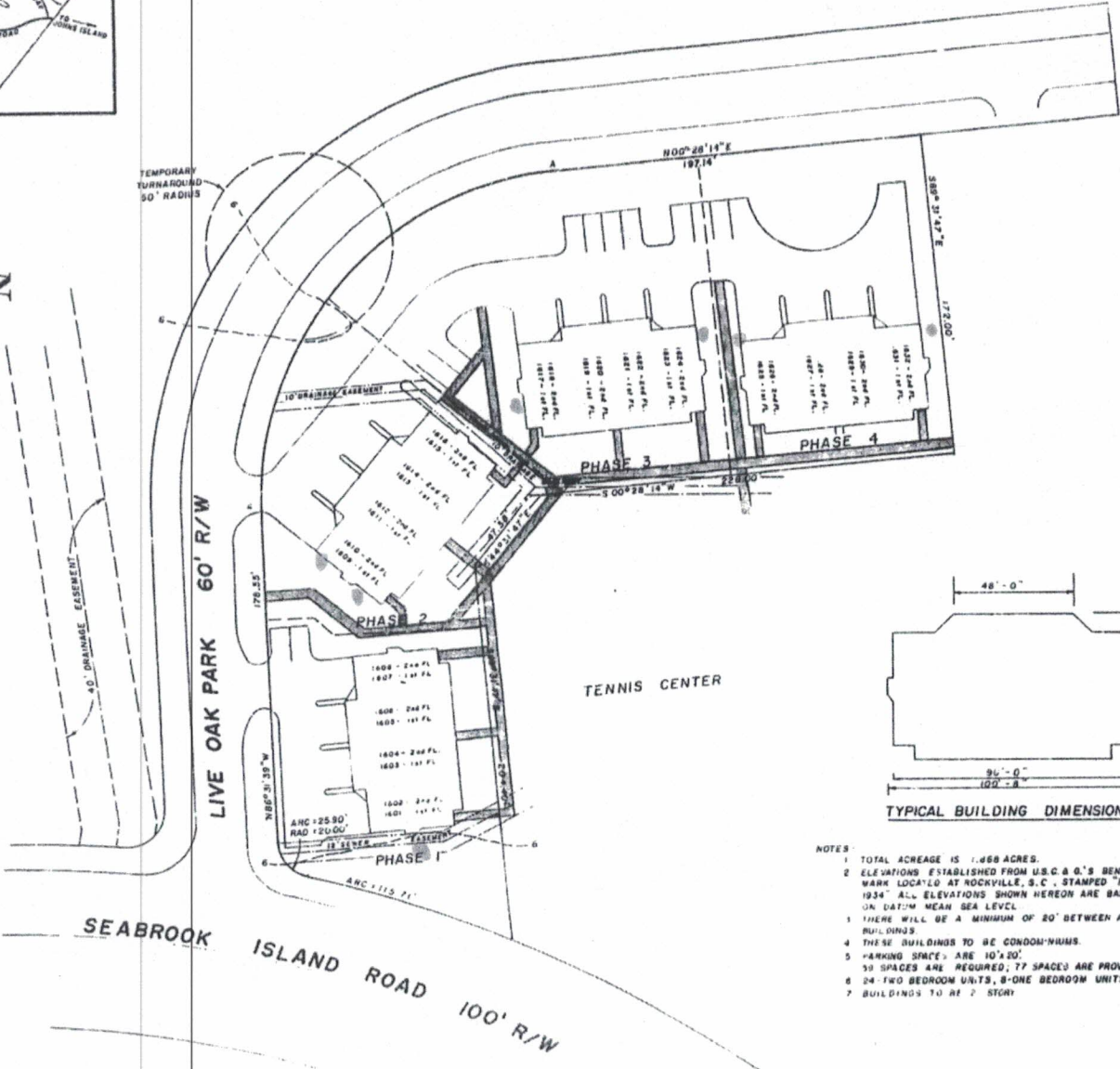


LOCATION MAP



SEABROOK ISLAND COMPANY

TEMPORARY TURNAROUND 50' RADIUS



TYPICAL BUILDING DIMENSIONS

- NOTES:
- 1 TOTAL ACREAGE IS 1.468 ACRES.
  - 2 ELEVATIONS ESTABLISHED FROM U.S.C. & G.'S BENCH MARK LOCATED AT ROCKVILLE, S.C., STAMPED "NO 4 1924". ALL ELEVATIONS SHOWN HEREON ARE BASED ON DATUM MEAN SEA LEVEL.
  - 3 THERE WILL BE A MINIMUM OF 20' BETWEEN ALL BUILDINGS.
  - 4 THESE BUILDINGS TO BE CONDOMINIUMS.
  - 5 PARKING SPACES ARE 10'x20'.
  - 6 30 SPACES ARE REQUIRED; 77 SPACES ARE PROVIDED.
  - 7 24 TWO BEDROOM UNITS, 8-ONE BEDROOM UNITS
  - 7 BUILDINGS TO BE 2 STORY

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SEABROOK ISLAND (SEABROOK ISLAND) I HORIZONTAL PROPERTY REGIME  
 CHARLESTON COUNTY, S.C.

PROPOSED MASTER PLOT PLAN - COURTSIDE VILLAS  
 SCALE: 1" = 40' MAY 31, 1982

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E.M. SEABROOK, JR., INC.